**Department of Community Services**
**Land Use Planning Division**
**www.multco.us/landuse**

**1600 SE 190th Avenue, Portland Oregon 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389**

# 14 DAY OPPORTUNITY TO COMMENT

## Application for a National Scenic Area Site Review

This notice serves to notify neighboring property owners of the opportunity to submit written comments on the proposal described below. All comments should relate to the approval criteria and any neighbor that submits comments will receive the County's complete decision in the mail. **If you do not wish to submit comments, no response is necessary.**

**Case File:** T2-2021-14506

**Location:** Address: 40650 E Historic Columbia River Highway, Corbett
Map, Tax Lot: 1N5E30CB -00600
Alternate Account #: R832304400 Property ID #: R287235

**Applicant:** Anne DeWolf

**Base Zone:** Gorge Special Forestry (GSF-40)

**Key Viewing Areas:** Bridal Veil, Columbia River, Crown Point, Historic Columbia River Highway, I-84, Larch Mountain Road, Larch Sherrard, Portland Women's Forum, Rooster Rock, SR 14, Sandy River

**Landscape Setting:** Coniferous Woodlands

**Proposal:** National Scenic Area Site Review for a dwelling addition and new accessory structure

**Vicinity Map** **North ↑**

**Comment Period**: Written comments regarding this application will be accepted, if received by **4:00 pm on September 3, 2021**. Comments should be directed toward approval criteria applicable to the request. Further information regarding this application, application materials, and other evidence relied upon for this application is available by contacting the planner, Izze Liu via email at *isabella.liu@multco.us*. Copies of these materials may be purchased for $0.40/per page.

**For this application to be approved, the proposal will need to meet the applicable approval criteria below**:

Multnomah County Code (MCC):

General Provisions: MCC 38.0015 Definitions – Parcel, MCC 38.0045 Review and Conditional Use Applications - Submittal Requirements

Violations, Enforcement and Fines: MCC 38.0560 Code Compliance and Applications

GSF Zone: MCC 38.2025 Review Uses, MCC 38.2060 Dimensional Requirements

NSA Site Review: MCC 38.7045 SMA Scenic Review Criteria, MCC 38.7050 SMA Cultural Resource Review Criteria, MCC 38.7075 SMA Natural Resource Review Criteria, MCC 38.7085 SMA Recreation Resource Review Criteria

Copies of the referenced Multnomah County Code sections can be obtained by contacting our office or by visiting our website at *https://multco.us/landuse/zoning-codes/* under the link **Chapter 38 – Columbia River Gorge National Scenic Area**

**Decision Making Process**: The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

**Important Note**: Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Columbia River Gorge Commission.

**Enclosures:**
Site Plan
Floor Plans
Elevation Drawings

**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**
ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

# Hagenbuch & Green Residence

## 1931 Tudor

**PROJECT DESCRIPTION**
PHASED WHOLE HOUSE REMODEL INCLUDING GARAGE & SHOP ADDITIONS

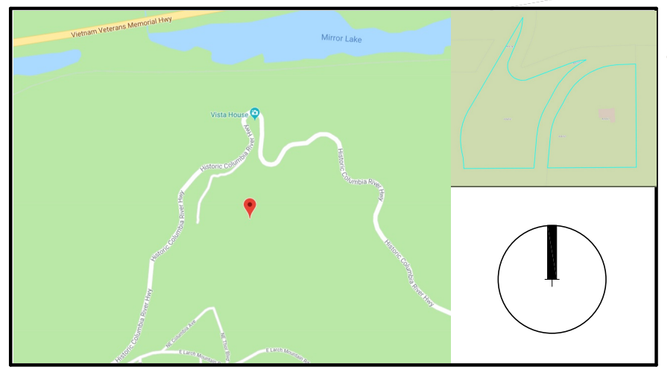
**HIGHLIGHTS**
PHASE 1 - LOWER LEVEL
*SITE IS WITHIN THE COLUMBIA GORGE NATIONAL SCENIC AREA*

**ABBREVIATIONS LIST**

| | |
|---|---|
| 1ST | FIRST |
| 2ND | SECOND |
| 3RD | THIRD |
| 4TH | FOURTH |
| ADJ | ADJUSTABLE |
| ADJC | ADJACENT |
| AFF | ABOVE FINISHED FLOOR |
| AFG | ABOVE FINISHED GRADE |
| APPROX | APPROXIMATELY |
| BRD | BOARD |
| BM | BEAM |
| BTM | BOTTOM |
| BTWN | BETWEEN |
| CAB | CABINET |
| CL | CENTER LINE |
| CLG | CEILING |
| CLR | CLEAR |
| CLST | CLOSET |
| CMU | CONCRETE MASONRY UNIT |
| COL | COLUMN |
| CONC | CONCRETE |
| CPT | CARPET |
| CT | CERAMIC TILE |
| D | DEEP / DEPTH |
| DBL | DOUBLE |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DR | DOOR |
| DRW | DRAWER |
| DS | DOWN SPOUT |
| (E) | EXISTING |
| EA | EACH |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION |
| EQ | EQUAL |
| EXT | EXTERIOR |
| FDN | FOUNDATION |
| FF | FACE FRAME |
| FIN | FINISH |
| FLR | FLOOR |
| FLUOR | FLUORESCENT |
| FT | FOOT / FEET |
| FTG | FOOTING |
| GYP BD | GYPSUM BOARD |
| H | HIGH |
| HDWD | HARDWOOD |
| HR | HANDRAIL |
| HGT | HEIGHT |
| HDWR | HARDWARE |
| INSUL | INSULATION |
| INT | INTERIOR |
| JB | JUNCTION BOX |
| JST | JOIST |
| LAM | LAMINATE |
| LAV | LAVATORY |
| LIN | LINOLEUM |
| LOC | LOCATION/LOCATE |
| LVL | LAM VENEER LUMBER (BM) |
| MANUF | MANUFACTURER |
| MAX | MAXIMUM |
| MEP | MECH, ELEC, PLG |
| MLDG | MOLDING |
| MW | MILLWORK |
| (N) | NEW |
| NEC | NECESSARY |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OH | OVERHEAD |
| OPG | OPENING |
| PERS | PERSPECTIVE |
| PLAS | PLASTER |
| PLBG | PLUMBING |
| PLWD | PLYWOOD |
| PT | PRESSURE TREATED |
| REC | RECESSED |
| RET | RETAINING |
| RM | ROOM |
| RO | ROUGH OPENING |
| RQD | REQUIRED |
| REV | REVEAL |
| SCHED | SCHEDULE |
| SF | SQUARE FOOTAGE |
| SHT | SHEET |
| ST | STONE |
| STD | STANDARD |
| STRUCT | STRUCTURAL |
| T&G | TONGUE & GROOVE |
| TBD | TO BE DETERMINED |
| TP | TOILET PAPER |
| TYP | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| VCT | VINYL COMPOSITION TILE |
| VIF | VERIFY IN FIELD |
| W | WIDE / WIDTH |
| WC | WATER CLOSET |
| WD | WOOD |
| W/D | WASHER/DRYER |
| WIN | WINDOW |
| WL | WALL |

**DRAWING INDEX**


| | |
|---|---|
| CP | COVER PAGE |
| SP | SITE PLAN |
| FP | FOUNDATION PLAN |
| A1.0 | (E) LOWER LEVEL PLAN |
| A2.0 | (N) LOWER LEVEL PLAN |
| A1.1 | (E) 1st FLOOR PLAN |
| A2.1 | (N) 1st FLOOR PLAN |
| A3.1 | (N) SHOP PLAN, MEP & PERS |
| A1.2 | (E) 2nd FLOOR PLAN |
| A2.2 | (N) 2nd FLOOR PLAN |
| A3.1 | SOUTH FACING ELEVATION & PERS |
| A3.2 | EASY FACING ELEVATION & PERS |
| A3.3 | NORTH FACING ELEVATION & PERS |
| A3.4 | WEST FACING ELEVATION & PERS |
| A3.5 | SHOP EXTERIOR ELEVATIONS |




A VICINITY MAP
NOT TO SCALE

| PROPERTY INFO | PROPERTY INFO CONTINUED |
|---|---|
| COLUMBIA GORGE NATIONAL SCENIC AREA<br>PROPERTY ID: R287235<br><br>ALT. ACCOUNT: R832304400<br>MAP #: 301N5E<br><br>THORS HTS<br>RPLT BLOCK 3, LOT 19-21, BLOCK 5, LOT 5&6 | 3.24 ACRES<br><br>ZONE: GGR-2<br>(GENERAL MANAGEMENT AREA RESIDENTIAL, 2 ACRE MINIMUM LOT SIZE)<br><br>USE TABLES CODES: "R", "E" & "A" |

**CONDITIONS**
CONTRACTOR MUST SEE THAT ALL WORKS OF SAID BUILDING ARE PERFORMED IN A THOROUGH AND SUBSTANTIAL MANNER BY COMPETENT TRADES-PEOPLE, AND MUST FURNISH ALL MATERIALS TO THE BEST OF THEIR RESPECTIVE KINDS, LABOR, IMPLEMENTS ETC., IF NOT OTHERWISE SPECIFIED.

CONTRACTOR MUST VERIFY ALL CRUCIAL DIMENSIONS.

SEE PROJECT HIGHLIGHTS FOR ADD & DEDUCT OPTIONS.

**INTERPRETATION OF DRAWINGS**
FOR THE ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. VERIFY DIMENSIONS AND EXISTING CONDITIONS, AND NOTIFY THE DESIGNER OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING. THE CONTRACTOR IS RESPONSIBLE FOR SAFE CONDITIONS AT THE JOB SITE, AND THE TEMPORARY SUPPORT OF THE BUILDING PRIOR TO THE COMPLETION OF THE VERTICAL AND LATERAL LOAD SYSTEMS. ALL WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE OREGON RESIDENTIAL SPECIALTY CODE.

- BULLETED NOTES IN SIDEBAR APPLY TO WHOLE PAGE.
- : NUMBERED NOTES IN SIDEBAR APPLY TO SPECIFIC TAGS ON PAGE. SITE #

DIMENSIONS ARE FROM FINISH TO FINISH UNO.

SEE "D" PAGES FOR EXTENSIVE DETAILS AND ADDITIONAL DIMENSIONS.

PERSPECTIVE DRAWINGS ARE CONCEPTUAL ONLY AND NOT MEANT FOR CONSTRUCTION UNO.

REPRESENTATION OF FITTINGS AND FIXTURES ARE A GUIDE ONLY. SEE SPECS FOR ACTUAL.

**DEMO & SALVAGE**
REUSE & RECYCLE WHEN POSSIBLE.
CARPENTER TO INVENTORY DRS & DR HRDW FOR RE-USE.
SALVAGE MILLWORK FOR RE-USE IF POSSIBLE.
DISCUSS W/ CLIENT BEFORE DONATING ARCHITECTURAL ELEMENTS.

**WINDOWS & DOORS**
TAGGED DRS & WINS SUGGESTED FOR SALVAGE IN PROJECT INCLUDING THEIR HARDWARE IF POSSIBLE.

HINGED (N) DRS ARE DRAWN OPEN & (N) POCKET DRS ARE NOTED ON PLANS

STANDARD WINDOW & DOOR MEASUREMENTS SHOWN ON PLANS ARE READ AS FOLLOWS:
3068 = 3'-0" WIDE X 6'-8" HIGH
4024 = 4'-0" WIDE X 2'-4" HIGH
DOOR SIZE INDICATES DOOR PANEL DIMENSIONS.
WINDOW SIZE INDICATES CASING OPENING AT EXISTING
- SEE WINDOW MANUFACTURERS SPECIFICATIONS AT NEW

**MILLWORK**
WHEN NOT SPECIFIED ELSEWHERE, ALL WOODWORK SHALL BE IN ACCORDANCE WITH OR BETTER THAN THE AWI (ARCHITECTURAL WOODWORK INSTITUTE) CUSTOM QUALITY STANDARD.

CABINET AND CARPENTRY DIMENSIONS ARE APPROXIMATE ONLY.

**TILE**
WHEN NOT SPECIFIED ELSEWHERE, ALL TILE WORK SHALL CONFORM TO OR EXCEED THE TILE COUNCIL OF AMERICA STANDARDS.

TILE LAYOUT AND DETAILS ARE TO BE USED AS A GUIDE ONLY.

**MECHANICAL, ELECTRICAL & PLUMBING**
LICENSED TRADE PROFESSIONALS TO PROVIDE & INSTALL MEP TO MEET CODE REQUIREMENTS.

VERIFY & PROVIDE MEP REQUIREMENTS FOR ALL FIXTURES AS SPECIFIED BY MANUFACTURER.

LOCATION OF (E) FRAMING MEMBERS & DUCTING MAY REQUIRE ALTERING EXACT LOCATIONS OF FIXTURES. VERIFY W/ DESIGNER AS NEC.

SEE INTERIOR ELEVATIONS FOR LOCATIONS OF VENTS, FIXTURES, RECEPTACLES & SWITCHES.

SEE SPECS FOR COLORS & FINISHES OF VENTS, FIXTURES, RECEPTACLES, SWITCHES & COVER PLATES.

**ENERGY CODE**

| | |
|---|---|
| MAX. ALLOWABLE WINDOW AREA | NO LIMIT |
| WINDOW CLASS | |
| U=0.35 | |
| DOOR OTHER THAN MAIN ENTRY | U=0.20 |
| MAIN ENTRY DOOR - 24 S.F. MAX | U=0.40 |
| EXTERIOR WALL INSULATION FOR (N) WALL | R 21 |
| BASEMENT WALL INSULATION | R 15 |
| FLAT CEILING INSULATION | R 38 |
| VAULTED CEILING INSULATION | R 38 |
| FLOOR INSULATION | R 30 |
| FORCED AIR DUCT INSULATION | R 8 |

**WOOD**
LUMBER GRADES SHALL BE AS FOLLOWS, EXCEPT AS NOTED ON DRAWINGS:

| | |
|---|---|
| JOIST, RAFTERS & 4 INCH NOMINAL BEAMS | #2 GRADE DOUGLAS FIR |
| POSTS & 6 INCH NOMINAL BEAMS | #1 GRADE DOUGLAS FIR |
| 2X4 FRAMING & STUDS | STUD GRADE DOUGLAS FIR |
| 2X6 FRAMING & LARGER STUDS | #2 GRADE DOUGLAS FIR |
| BUCKS, BLOCKING & BRIDGING | #3 GRADE DOUGLAS FIR |
| PLATES & SILLS ON CONCRETE | PT GROUND CONTACT DOUGLAS FIR |
| 2X6 DECKING | COMM. GRADE DOUG FIR OR HEM-FIR |

PROVIDE SOLID BLOCKING FOR JOISTS AND RAFTERS AT ALL BEARING WALLS AND BEAMS. PROVIDE BRIDGING AND FIRE STOPPING AS REQUIRED BY CODE.

ROOF, WALL AND FLOOR SHEATHING SHALL BE APA RATED SHEATHING FOR EXPOSURE OR CDX OR EQUIVALENT ORIENTED STRAND BOARDWITH EXTERIOR GLUE. SHEAR WALL SHEATHING SHALL BE INSTALLED WITH JOINTS BLOCKED UNLESS NOTED OTHERWISE. USE EXTERIOR TYPE PLYWOOD FOR EXPOSED LOCATIONS SUCH AS SOFFITS.

NAIL ALL MEMBERS WITH MINIMUM NAILING TO CONFORM TO TABLE R602.3 (1) OF THE OREGON SPECIALTY RESIDENTIAL CODE AND INCREASE WHERE INDICATED. FASTENERS AND HANGERS NOTED ON THE DRAWINGS ARE MODEL NUMBERS OF "SIMPSON STRONG-TIE COMPANY, INC." AND MAY BE REPLACED WITH EQUIVALENT MODELS. INSTALL ALL CONNECTORS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS WITH NAILING IN ALL AVAILABLE HOLES.

CUTTING OR NOTCHING OF BEAMS, JOISTS, RAFTERS, AND COLUMNS NOT ALLOWED WITHOUT PRIOR APPROVAL. JOISTS AND RAFTERS MAY HAVE A CIRCULAR HOLE NOT EXCEEDING 15% OF DEPTH DRILLED AT CENTER OF MEMBER. STUDS IN BEARING WALLS MAY BE NOTCHED NOT EXCEEDING 25% OF DEPTH AT TOP AND BOTTOM 1/5 OF HEIGHT OR MAY HAVE A CIRCULAR HOLE NOT EXCEEDING 1/3 OF MEMBER DEPTH DRILLED AT CENTER AT ANY HEIGHT.

CONTRACTOR TO PROVIDE SIGNED LETTER STATING COMPLIANCE WITH ORSC SECTION R318.2 (FRAMING LUMBER MOISTURE CONTENT-NOT MORE THAN 19% DRY WEIGHT)

**FOOTINGS & CONCRETE**
FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL OR PROPERLY COMPACTED ENGINEERED FILL PLACED OVER PROPERLY PREPARED SUB-GRADES. THE BEARING HORIZON OF FOOTING SHALL BE LOCATED 18 INCHES MINIMUM BELOW THE TOP OF THE INTERIOR FLOOR SLABS OR 18 INCHES BELOW ADJACENT EXTERIOR GRADE.

THE ACI STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI-301 SHALL BE FOLLOWED FOR ALL ITEMS NOT SPECIFICALLY COVERED ON THE DRAWINGS AND SPECIFICATIONS.

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE
SHALL BE:
3500 PSI FOR CONCRETE SLABS ON GRADE
3000 PSI FOR WALLS, FOOTINGS AND OTHER CONCRETE

MAXIMUM SLUMP SHALL BE 3 1/2" INCHES FOR SLABS ON GRADE AND 4 INCHES FOR OTHER CONCRETE. PROVIDE 5% AIR ENTRAINMENT FOR CONCRETE EXPOSED TO EXTERIOR CONDITIONS.

PROVIDE CONTROL JOINTS FOR CONCRETE SLABS ON GRADE IN ACCORD WITH DETAILS AND SPACING SHOWN ON DRAWINGS. WHERE SPACING INFORMATION IS LACKING, SPACE JOINTS AT A MAXIMUM OF 20 FEET IN EACH DIRECTION.

CONCRETE HANDLING, PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI-301 IF NOT OTHERWISE NOTED.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WA: ARCIFL*910KJ
OR CCB#119917


Travis Hagenbuch & Ben Green

40650 E HISTORIC COLUMBIA RIVER HWY
CORBETT, OR 97019

Project No.: **19021**

*Designer*
ANNE DE WOLF
*Junior Designer*
SARAH CROUSE
*Project Manager*
JOE HOFFMAN

*Date*
3.26.21 NSA REVIEW APPLICATION

*Page Title*
COVER PAGE

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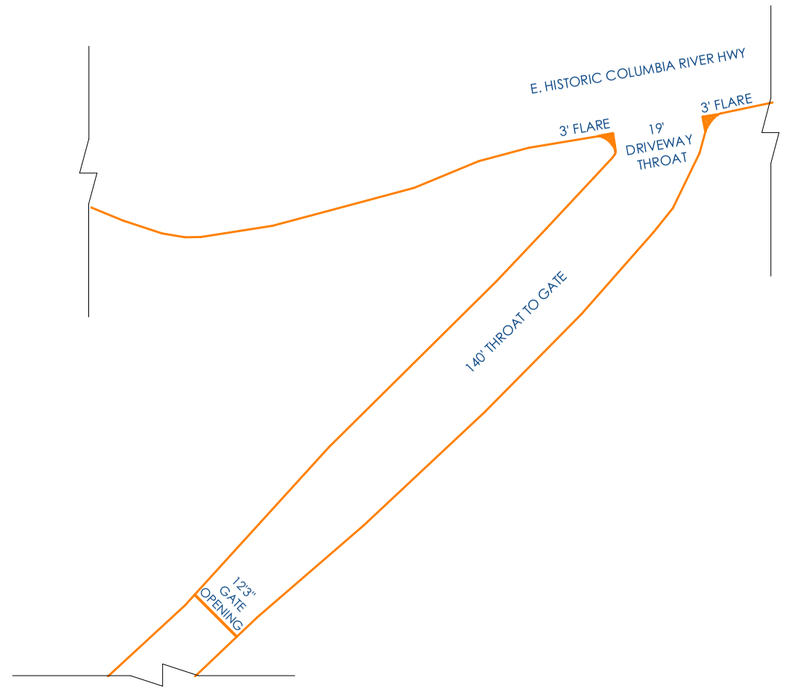
AERIAL VIEW

@ SOUTH ELEVATION

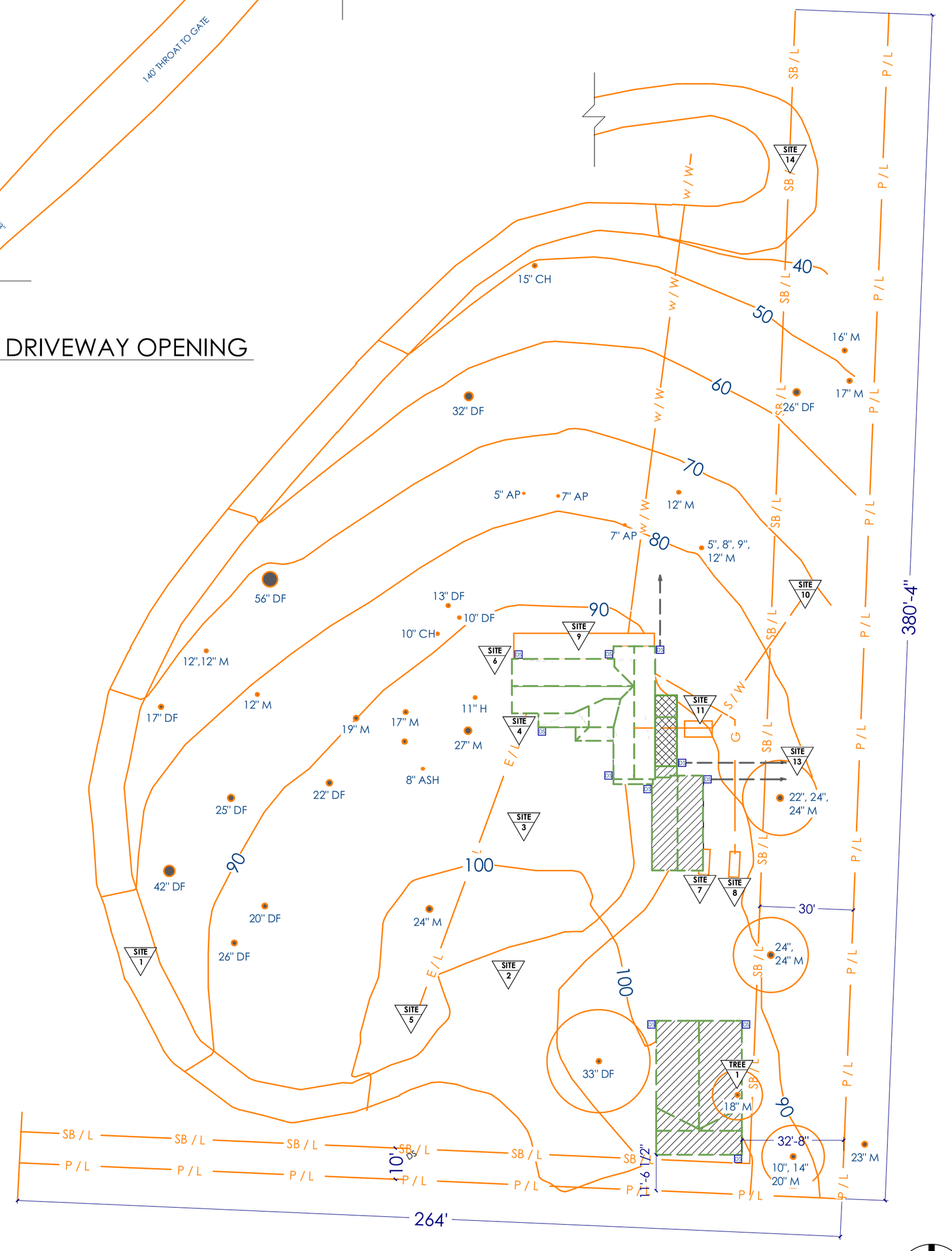
@ GARAGE ADDITION LOCATION

@ SHOP ADDITION LOCATION

A SITE PHOTOS
NOT TO SCALE




B SITE PLAN - DRIVEWAY OPENING
SCALE: 1" = 30'-0"




C SITE PLAN
SCALE: 1" = 30'-0"

**CONTACT @ CITY**
CHRIS LIU - LAND USE PLANNER
(503) 988-2964 / CHRIS.LIU@MULTCO.US
ABOUT: NATIONAL SCENIC AREA REVIEW

**GEOTECH ENGINEER**
MIA MAHEDY - RAPID SOIL SOLUTIONS
(503) 816-3689
MIA@RAPIDSOILSOLUTIONS.COM

**STRUCTURAL ENGINEER**
BRUCE KENNY - BERRY-KENNY ENGINEERS
(503) 607-0481 /
BRUCE@BKENGINEERS.COM

**ZONING**

| | |
|---|---|
| ZONED: | GSF-40 |
| (E) LOT COVERAGE: | 1,318 SF |
| (N) LOT COVERAGE: | 3,136 SF |
| (E) IMPERMEABLE SURFACES: | 1,204 SF |
| (N) IMPERMEABLE SURFACES: | 2,749 SF |
| (E) HEIGHT: | 17'-6" |
| ALLOWED HEIGHT: | 24'-0" |
| (N) HEIGHT: | 17'-6" |

SITE # **SITE**

- ADJUST GRADE AS NEC FOR (N) FOUNDATIONS
- WATER METER @ END OF DRIVEWAY BY GATE ADJC TO VISTA HOUSE PARKING LOT (NORTH OF STRUCTURE)
- NEAREST FIRE HYDRANT @ E. KNIERIEM RD. & E. HISTORIC COLUMBIA RIVER HWY, 5,100 FT AWAY; THIS PROPERTY IS SERVICED BY FIRE TRUCKS W/ WATER ON BOARD

1 : 12'W GRAVEL DRIVE WAY
2 : GRAVEL PARKING AREA
3 : LAWN & FRONT WALK; POSSIBLE FUTURE DRAIN FIELD REPAIR AREA
4 : ELECTRICAL METER
5 : TRANSFORMER & TELEPHONE PEDESTAL
6 : RADON VENT
7 : (E) PROPANE TANK LOC
8 : (N) PROPANE TANK LOC
9 : DECK
10 : SEPTIC FIELD
11 : SEPTIC TANK
12 : ASSUMED LOC OF H2O LINE
13 : DOWNSPOUTS TO HAVE SPLASHGUARDS DIRECTING RAINWATER BEYOND SEPTIC TANK/ FIELD
14 : HAIRPIN TURN HAS BEEN WIDENED

TREE # **TREES**

- RETAIN VEGETATION & TREES, UNO
- CIRCLES DRAWN AROUND TREES INDICATE PRESCRIPTIVE PATHS FOR TREE PROTECTING ZONES

- DF = DOUGLAS FIR
- M = MAPLE
- H = HEMLOCK
- CH = CHERRY
- AP = APPLE
- ASH = ASH

1 : TREE TO BE REMOVED

**SITE LEGEND**

| | |
|---|---|
| | ADDITION |
| | POST & BEAM ADDITION |
| P / L | PROPERTY LINE |
| SB / L | SET BACK LINE |
| w / W | WATER LINE |
| S / W | SEWER LINE |
| G | GAS LINE |
| E / L | OVER HEAD ELEC |
| DS | DOWN SPOUT |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***Date***
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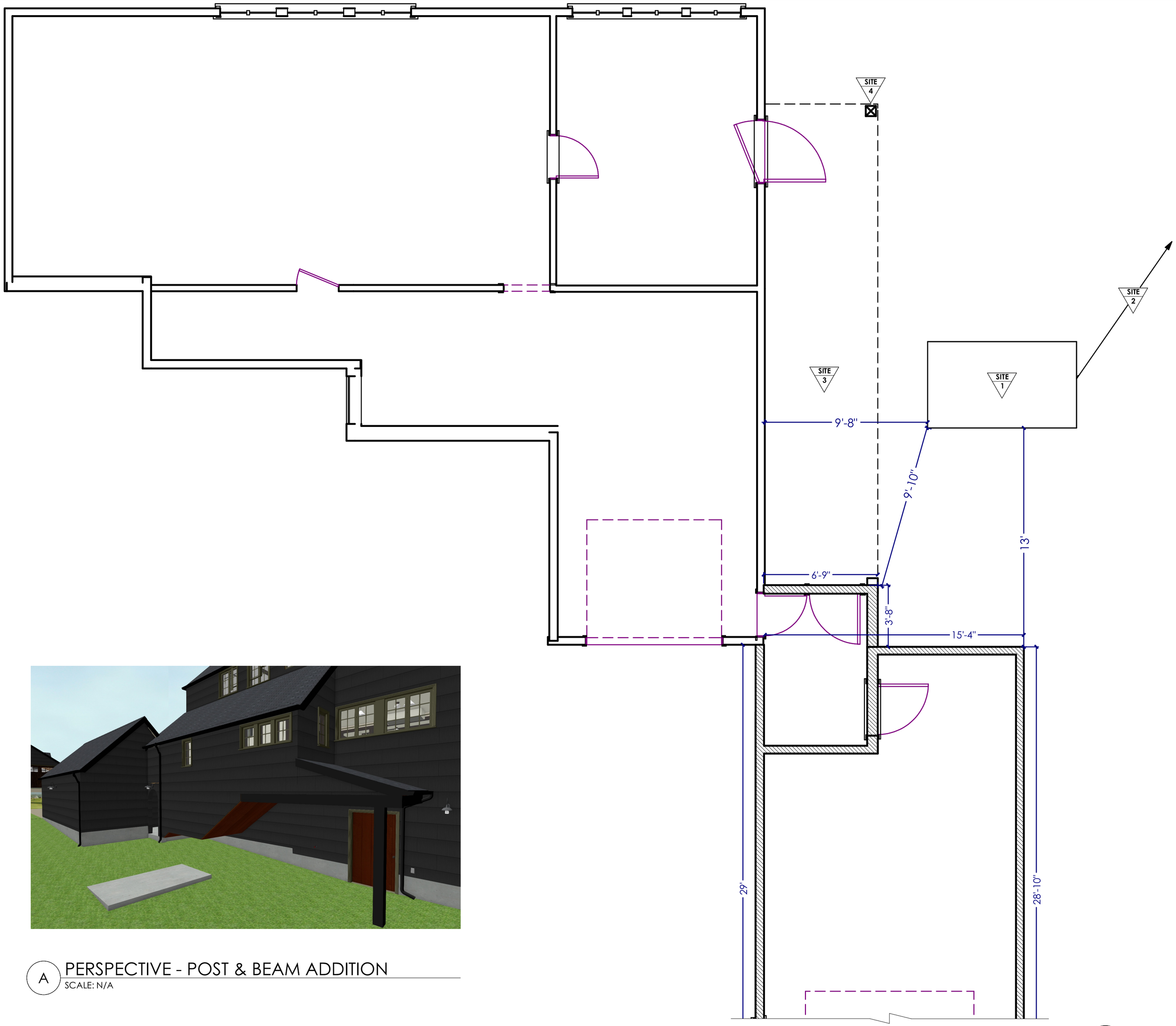
SITE PLAN

***Page No***
SP






A PERSPECTIVE - POST & BEAM ADDITION
SCALE: N/A

B FOUNDATION PLAN
SCALE: 1/4" =1'-0"

FRONT OF HOUSE

SITE # SITE

- SEPTIC IS MAINTAINED BY GOODMAN SANITATION - CONTACT: KELBY (503) 666-2280

1 : SEPTIC TANK
2 : SEPTIC DRAIN LINE
3 : SUSPENDED PORTION OF ADDITION
4 : (N) POST SUPPORTING SUSPENDED PORTION OF ADDITION

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) FOUNDATION
(N) FOUNDATION

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FOUNDATION PLAN

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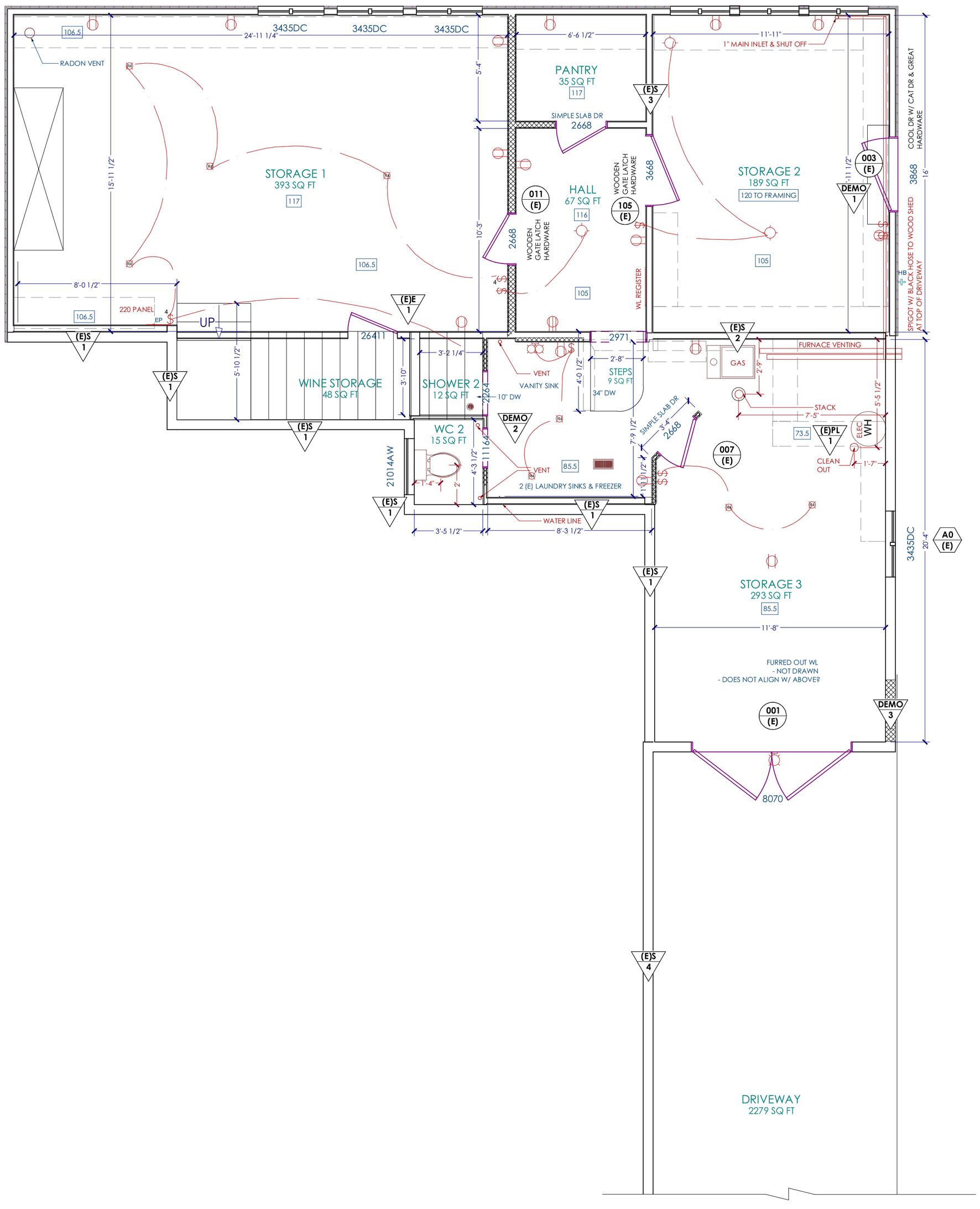


SEPTIC TANK

A (E) LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

**(E)S # (E) STRUCTURE**

- BASEMENT IS UNFINISHED
- STORAGE 1 & 2 & PANTRY PERIMETER WLS HAVE 36" H CONCRETE WLS TO GRADE UNO
- FDN WLS ARE 6" THICK
- 2X10 CLG JOISTS @ 16" OC PERPENDICULAR TO RIDGES

1 : FULL HGT CON WL

2 : 36" H CONC WL W/ 2X4 WL ABOVE

3 : 7" H CONC WL W/ 2X4 WL ABOVE

4 : STONE RETAINING WL

**DEMO # DEMO**

- MAINTAIN PATH FROM SUB PANEL TO MASTER BATH FOR FUTURE (N) CIRCUITS

1 : DEMO CONC STEP

2 : REMOVE CONC FLR TO MOVE PLUMBING

3 : TO BE DEMO'D IN FUTURE PHASE

**SAVE # SAVE FOR REUSE IN PROJECT**

- DRS, DR HRDW & WINS

**(E)E # (E) ELECTRICAL**

- 200 AMP ELECTRIC PANEL

1 : NOTE A LOT OF WIRES W/IN CLG FRAMING IN THIS AREA

**(E)PL # (E) PLUMBING**

- 1" WATER MAIN
- SEWER LINE DRAINS INTO SEPTIC FIELD
- COPPER SUPPLY LINES ARE NEWER

1 : FALL OF SEWER @ 27 BELOW FF

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) BALUSTRADE
(N) HALF
DEMO FOUNDATION

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(E) LOWER LEVEL PLAN

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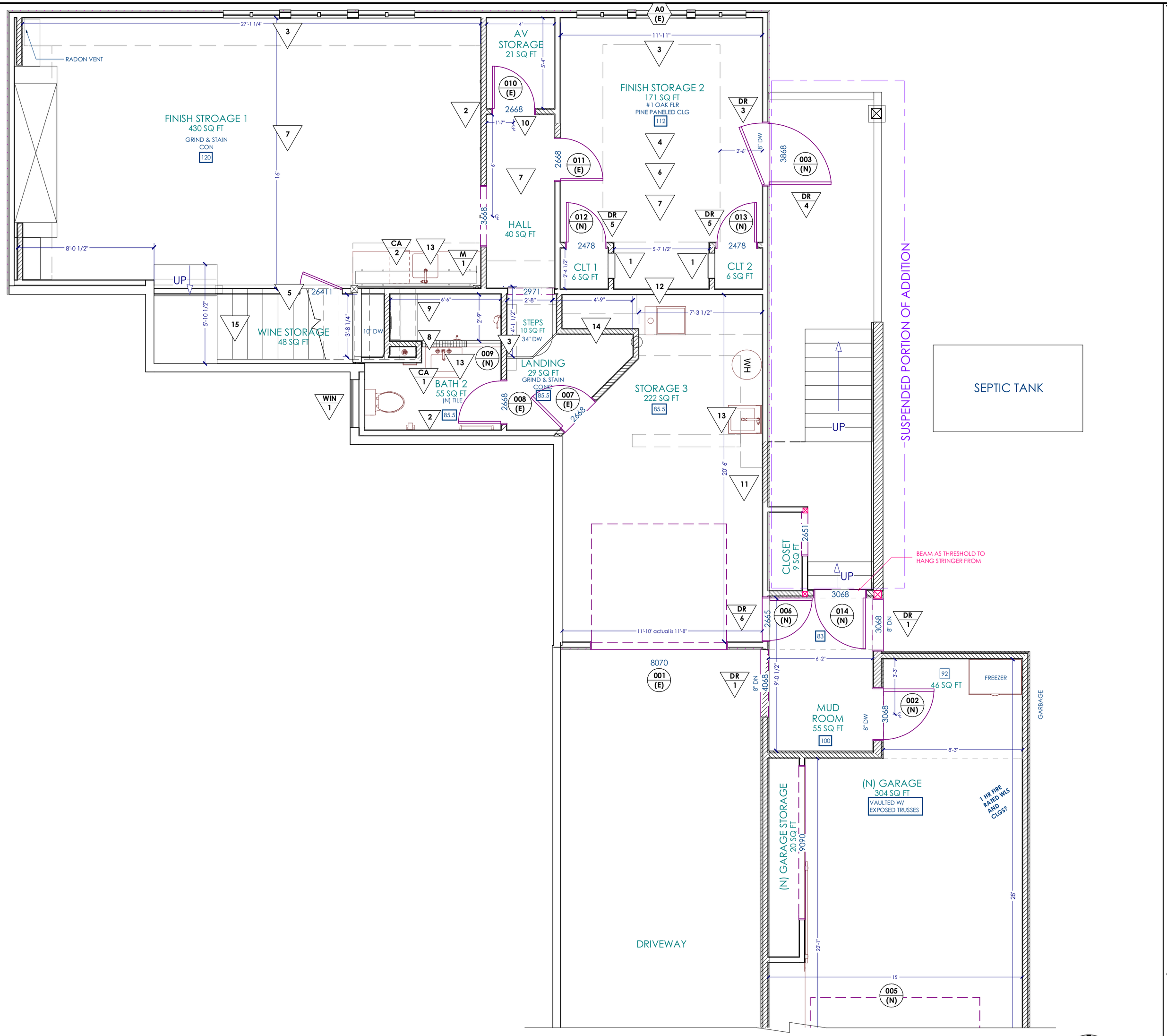
A1.0




A (N) LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

## # GENERAL

- WLS & CLG TO BE 5/8" GYP BOARD: SMOOTH
- KEEP CONCRETE WLS EXPOSED - CLEAN & PAINT
- MODIFY CLG JOIST IN BATH 2 TO ACCOMMODATE (N) BATH FAN
- GARAGE CLG TO BE LEFT OPEN FOR FUTURE PHASE WORK

1 : 18"W X 24"H NICHES @ 30" AFF
2 : PROVIDE BLOCKING FOR TV, BATH ACCESS & SHOWER BENCH & SHELVES
3 : BUILD SOFFIT AROUND DUCTS AS TIGHT TO DUCT AS REASONABLE
4 : BUILD DECORATIVE SOFFITS TO CREATE CENTERED RECESSED CLG PLANE
5 : WINE STORAGE, PANELING, POST & BEAMS & BALUSTRADE TO REMAIN AS IS
6 : ELEVATE STORAGE 2 FLR SO IT IS MAX 8" BELOW EAST GRADE & MAX 8" ABOVE BASEMENT FLR
7 : INSULATE FLR BETWEEN LOWER LEVEL & MAIN FLR
8 : 42" OAH OF (N) HALF WL IN BATH 2
9 : CUSTOM CONC SHOWER BASIN W/ TROUGH DRAIN
10 : CREATE OPENING W/ 12X12 REG COVER ABOVE DR TO VENT AV STORAGE; ASK CLIENT
11 : PATCH WL @ WIN LOC DURING FUTURE PHASE
12 : INSULATE WALL FOR SOUND & TEMP
13 : SINK IN (N) LOC
14 : FINAL FRAMING AROUND DUCTS TBD
15 : CUSTOM HAND RAIL SUPPORTED BY INTEGRATED WL BRACKETS ALONG SOUTH & WEST WLS OF STAIR W/ RETURN @ TOP & BOTTOM, 36" AFF

## WIN # WINDOWS (A# (E))

- CLIENT TO RESTORE (E) STAIN GRADE WINS UNO

1 : FIX & PAINT (E) SASH

## DR # DOORS (10# (E)) (10# (N))

- REFRESH FINISH ON (E) DRS

1 : FUTURE METAL GATE
2 : NOT USED
3 : REFRESH FINISH OF (E) DR
4 : FUTURE: ADD SCREEN/ SECURITY DR
5 : FLUSH PANEL DRS W/ MIRROR APPLIED TO ENTIRE DR FACE
6 : FUTURE DOOR 006

## M # MILLWORK

- STAINED FIR
- 1X6 BASE @ SHEETROCK ONLY
- 1X4 CASING, 3/4" SILL W/ APRON TO CLOSELY MATCH (E)
- CASE OPENINGS UNO
- MILCORE CLOSET DR OPENINGS IN FINISHED STORAGE 2

1 : ADD ENGAGED COLUMN & BEAM TO MATCH ADJC TO FRAME BAR MIRROR

## CA # CABINETRY

1 : PRE-FABED VANITY BY CLIENT
2 : CUSTOM CABS & SHELVING @ BAR

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) — BALUSTRADE
(N) — HALF
DEMO — FOUNDATION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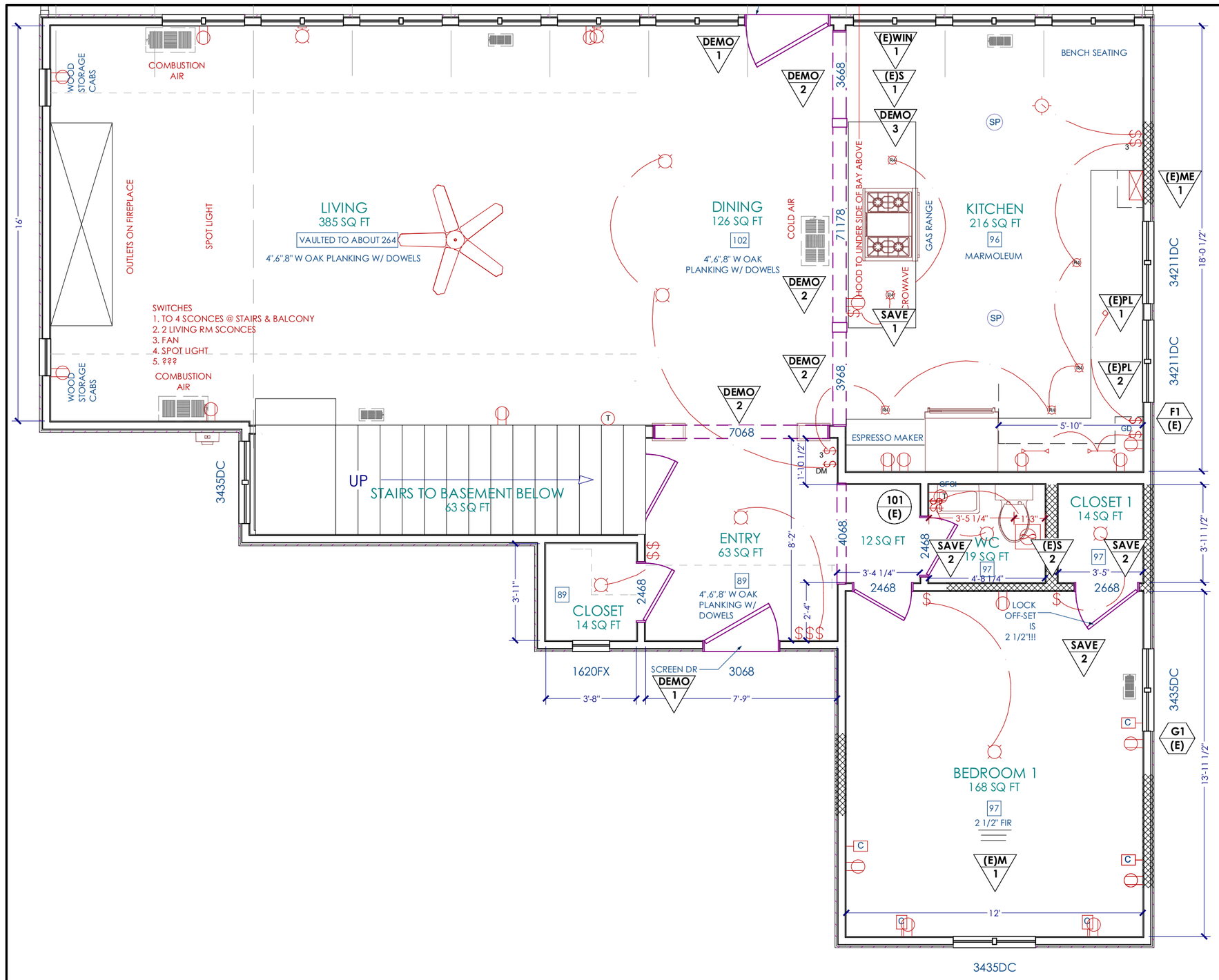
Page Title
(N) LOWER LEVEL PLAN

Page No
A2.0




A (E) 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

**(E)S # (E) STRUCTURE**

- DIMENSIONAL 2X10 CLG JOISTS @ 16" OC DIRECTION EAST WEST, UNO

1 : CLG JOISTS RUN NORTH TO SOUTH @ MASTER BEDRM CANTILEVER

2 : 6" PLUMBING WL

**DEMO # DEMO**

1 : REMOVE SECURITY/SCREEN DR PANEL

2 : CHANGE ARCHED OPENING

3 : REMOVE (E) HOOD BUT KEEP DUCTING

**SAVE # SAVE FOR REUSE IN PROJECT**

- DRS, DR HRDW & WINS
- APPLICANCES

1 : BUTCHER BLOCK COUNTER

2 : WOOD FLRS TO PATCH OTHER AREAS

**(E)WIN # (E) WINDOWS A# (E)**

1 : SCREEN

**(E)M # MILLWORK**

- HEWN STAIN GRADE FIR, UNO

1 : 1X6 FIR BASE W/ SHOE; 2x4 MITERED CASING & SKIRT; 1" OG STOOL

**(E)ME # (E) MECHANICAL**

1 : DUCT TO MASTER BEDRM TO BE MOVED

**(E)E # (E) ELECTRICAL**

- CLIENT IS REPLACING DATED FIXTURES, RECEPTACLES & SWITCHES

**(E)PL # (E) PLUMBING**

1 : SINK W/ GARBAGE DISPOSAL & HOT H20 DISPENSER

2 : DISHWASHER

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) BALUSTRADE
(N) HALF
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(E) 1st FLOOR PLAN

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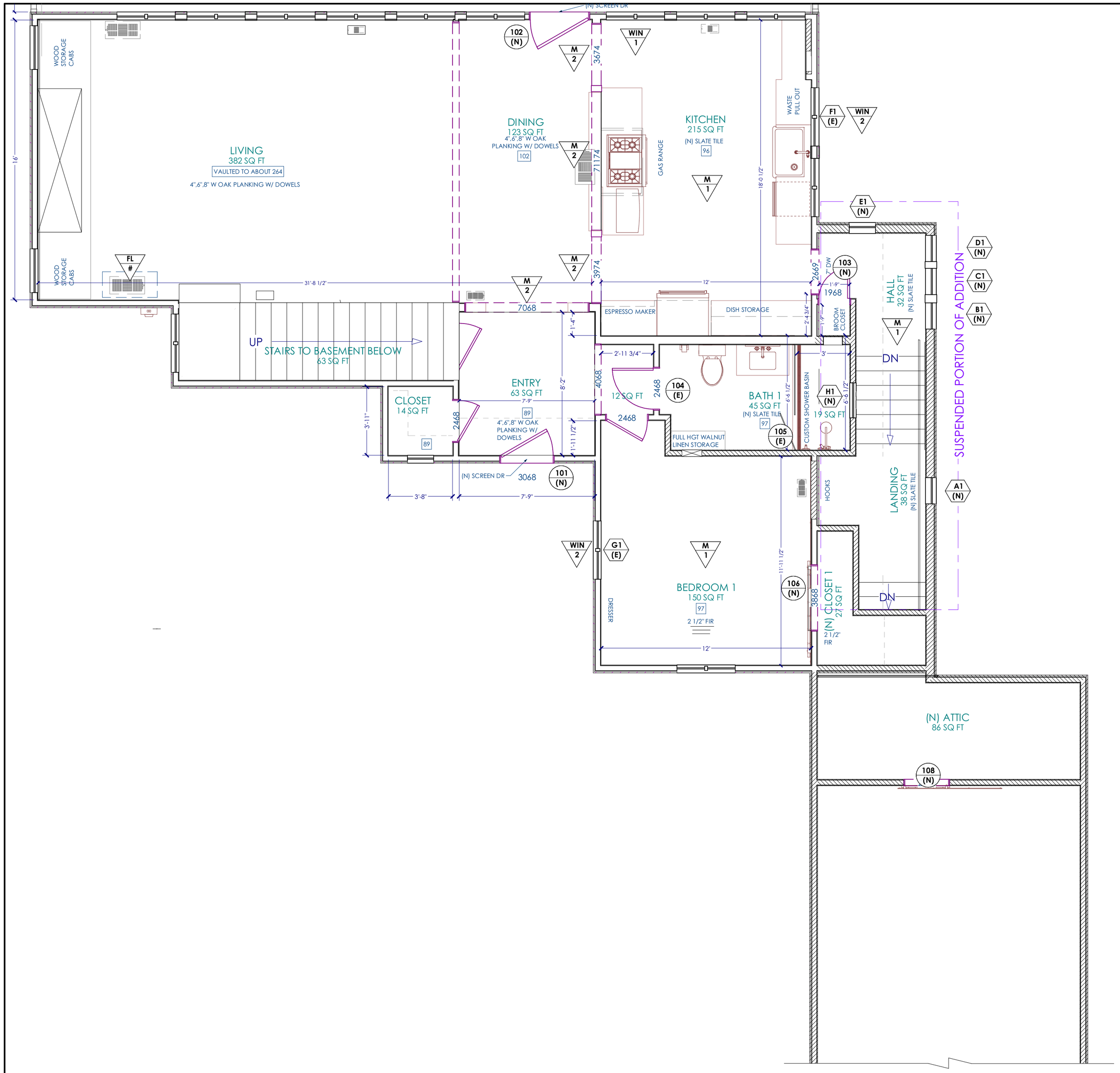


A (N) 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

**GENERAL**

- *SEE "D" PAGES FOR MORE INFO*
- INSULATE EXT WALLS WHERE ACCESSIBLE
- PATCH/REPAIR WLS, FLRS & CLGS @ REMODELED AREAS ONLY TO CLOSELY MATCH ADJACENT
- REINFORCE FLR JOISTS TO BE DRILLED FOR PLUMBING LINES @ REMODELED AREAS

1 : CHANGE ARCHES TO SQUARE OPENINGS

**WINDOWS**

- (N) HEADERS TO ALIGN W/ ADJC
- (N) WINS TO BE MARVIN WOOD & CLOSELY MATCH ADJC
- SHOW CLIENT HOW TO REPLACE FAILED GLASS PANES

1 : ASSIST CLIENT W/ CHANGE OF SCREEN

2 : (E) IN (N) LOC

**DOORS**

- (N) HEADERS @ 80" & CENTER DRS ON INT WLS UNO
- CLEAN & PAINT (E) DRS IN REMODELED AREAS ONLY

1 : DUTCH DR

2 : RAISE FINISH HEADER TO 84" AFF

**MILLWORK**

- HEWN STAIN GRADE FIR, UNO

1 : 1X6 FIR BASE W/ SHOE; 2x4 MITERED CASING & SKIRT; 1" OG STOOL

2 : (N) HUNE CASED OPENING

**FLOORING** (NOT PAINT OR TILE)

1 : PATCH FLRS @ COMBUSTION AIR INTAKES

**PAINTING, STAINING & DECO**

- PAINT OR PAPER OVER UNEVEN SURFACE WILL BE UNEVEN

**WALL LEGEND**
SCALE: 1/4"=1'-0"

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(N) 1st FLOOR PLAN

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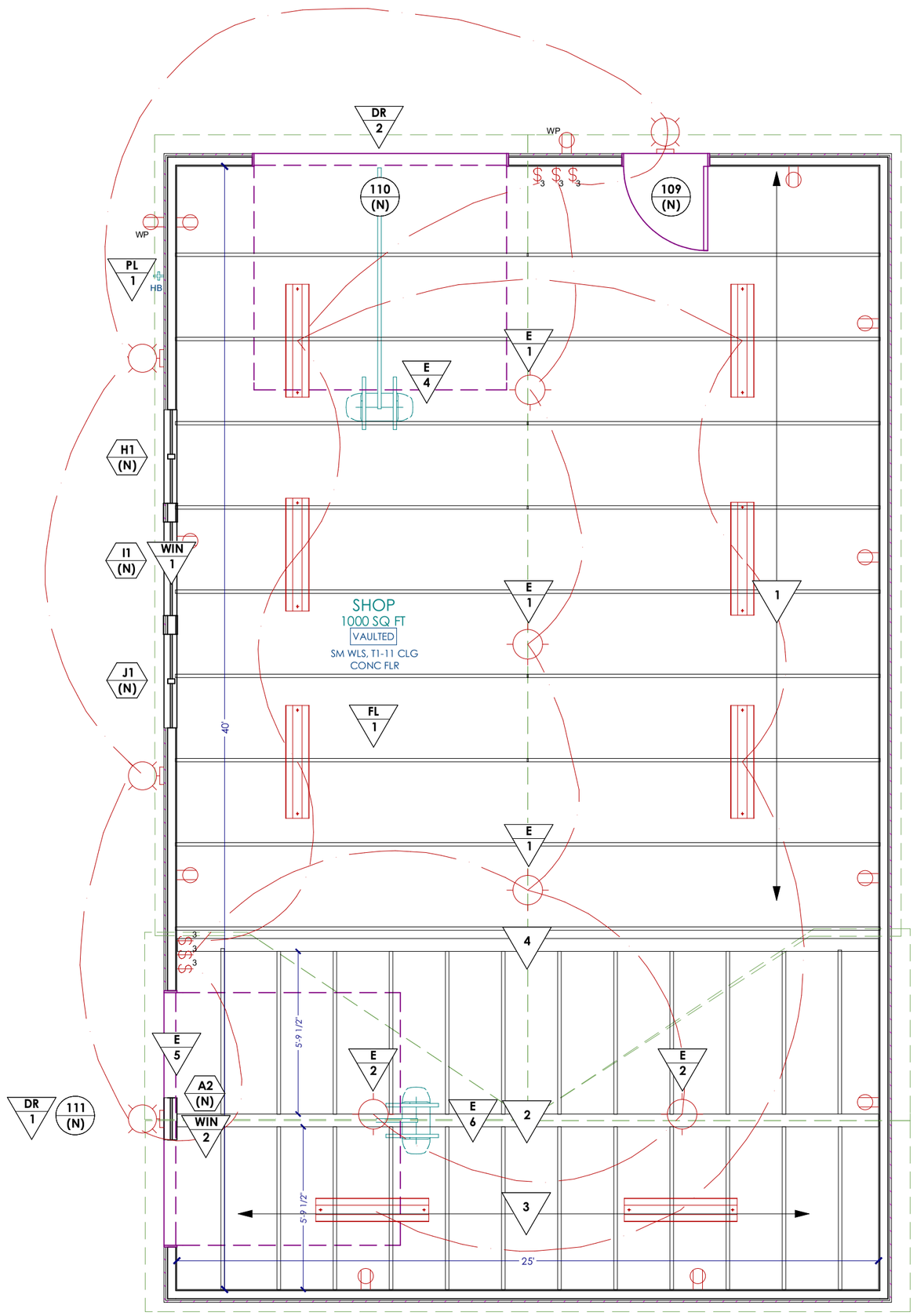
A2.1




A (N) SHOP PLAN
SCALE: 1/4" = 1'-0"

B PERSPECTIVES
NOT TO SCALE

**# GENERAL**

- SLAB ON GRADE FOUNDATION
- INSULATE EXT WALLS & ROOF
- T1-11 ROOF SHEATHING
- FINAL FRAMING DETAILS TBD

1 : SCISSOR TRUSSES @ 36" OC
2 : .... RIDGE BEAM
3 : .... RAFTERS @ 24" OC
4 : BEAM @ FRAMING TRANSITION

**WIN # WINDOWS** A# (E) A# (N)

- (N) WINS TO BE PRE-CASED WOOD& CLOSELY MATCH (E)

1 : MULLED CASEMENT WINDOW UNIT W/ HEADER @ 84" AFF
2 : FIXED WINDOW W/ HEADER @ 150" AFF

**DR # DOORS** 10# (E) 10# (N)

1 : CARRIAGE DR RELOCATED FROM (E) GARAGE
2 : (N) OVERHEAD GARAGE DR

**M # MILLWORK**

- STAIN GRADE FIR, UNO
- 1x4 MITERED CASING
- RUBBER COVE BASE

**FL # FLOORING** (NOT PAINT OR TILE)

1 : SEALED CONC FLR (ADD OPTION: INSULATE SLAB)

**E # ELECTRICAL**

- COVER PLATES ARE MATTE BLACK
- SWITCHES ARE MATTE BLACK DECORA
- RECEPTACLES ARE MATTE BLACK
- SUB PANEL LOC TBD @ SITE
- LOC OF OUTLETS TBD W/ CLIENTS

1 : OAL OF PENDANTS TO BE ..."
2 : OAL OF PENDANTS TO BE ..."
3 : OAL OF WORK LIGHTS TO BE ..."
4 : OVERHEAD GARAGE DOOR OPENER - BUTTON LOC NEXT TO DR
5 : AUTOMATIC CARRIAGE GARAGE DR OPENER - BUTTON LOC NEXT TO DR
6 : EXACT LOC OF CAR LIFT TBD

**PL # PLUMBING**

- WATER LINE FROM MAIN HOUSE TO SHOP SITE

1 : FROST FREE HOSE BIB

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) BALUSTRADE
(N) HALF
DEMO FOUNDATION

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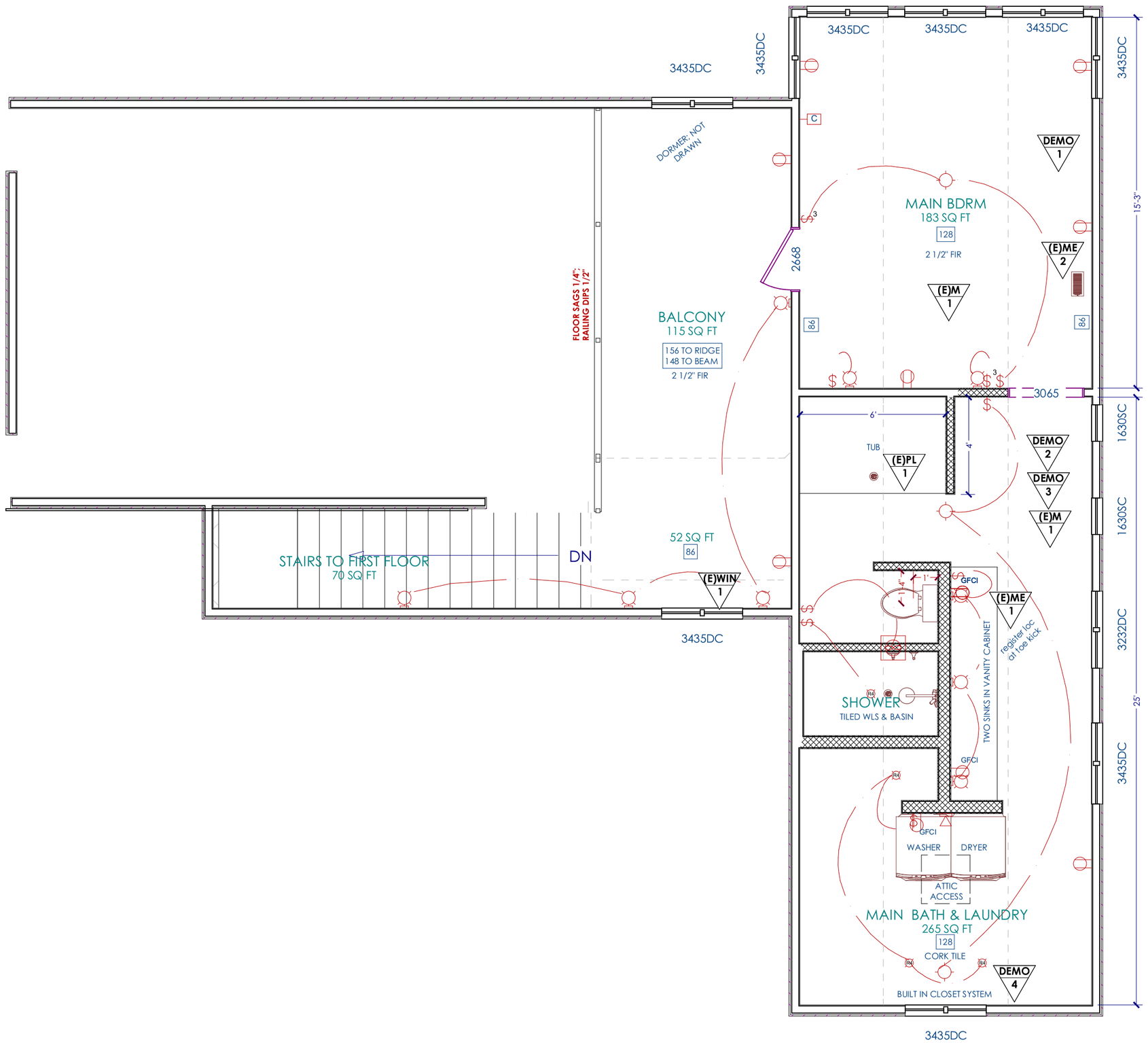
(N) SHOP PLAN, MEP & PERS

***Page No***

A3.1




A (E) 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

**(E) STRUCTURE**

- 2X4 RAFTERS @ 24" OC, DIRECTION EAST / WEST
- 2X4 CLG JOISTS @ 24" OC , DIRECTION EAST / WEST
- 2x12 FLR JOISTS, DIRECTION EAST / WEST

**DEMO**

1 : FLR ONLY @ (N) REG LOC - FUTURE PHASE
2 : CORK FLR TILE
3 : REMOVE ALL CABINETRY, PLUMBING & LIGHT FIXTURES
4 : CLOSET SYSTEM

**(E) WINDOWS**

1 : SCREEN NEEDS TO BE REPLACED

**(E) MILLWORK**

- HEWN STAIN GRADE FIR, UNO

1 : 1X6 FIR BASE W/ SHOE; 1x4 MITERED CASING & SKIRT; 1" OG STOOL

**(E) MECHANICAL**

1 : TOE KICK REG TO BE MOVED
2 : FLR REG TO BE MOVED - FUTURE PHASE

**(E) PLUMBING**

1 : RETAIN (E) 2" TUB DRAIN & COPPER SUPPLY LINES

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) BALUSTRADE
(N) HALF
DEMO FOUNDATION

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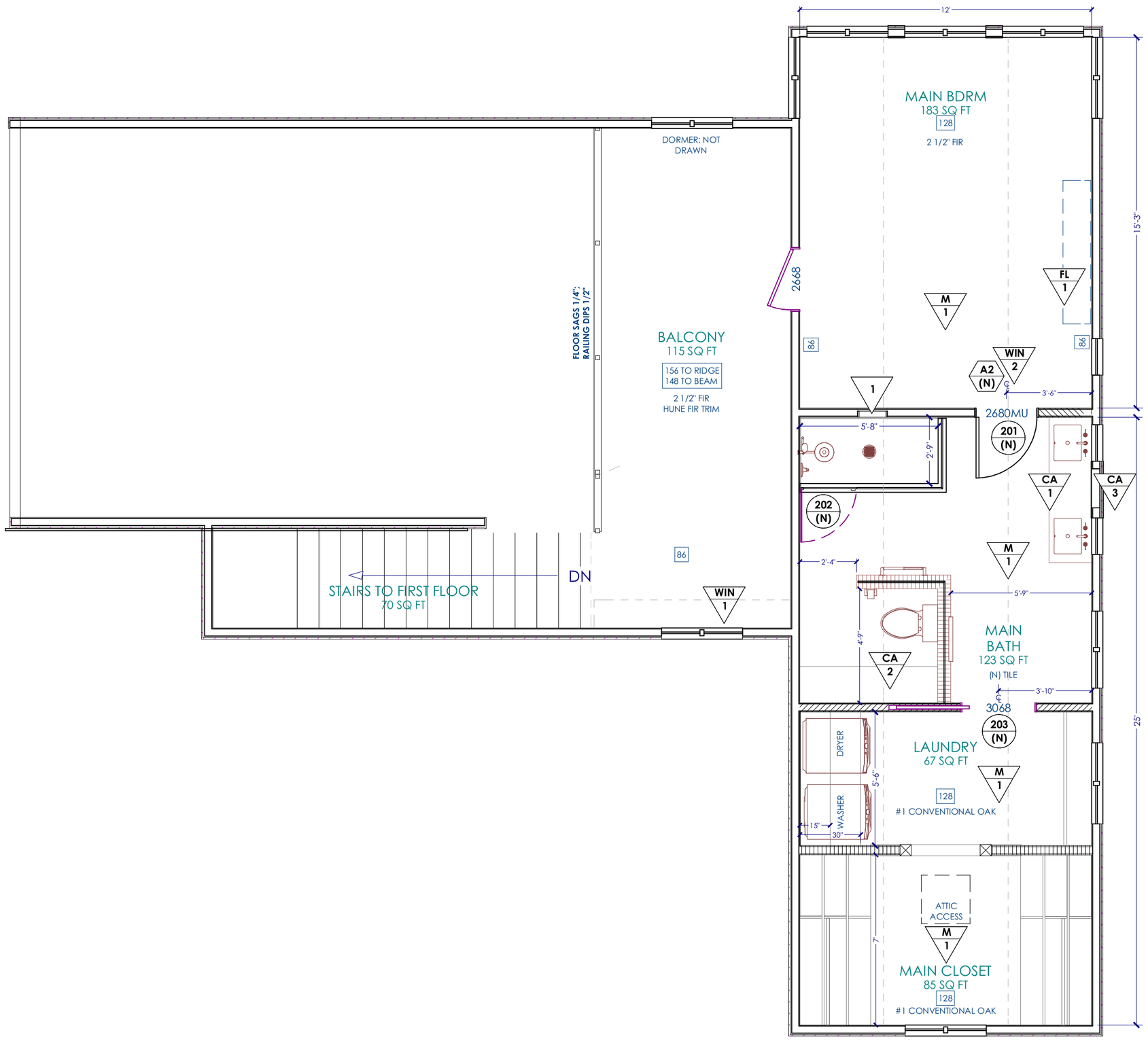
(E) 2nd FLOOR PLAN

*Page No*
A1.2




A (N) 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

FRONT OF HOUSE

**GENERAL**

- *SEE "D" PAGES FOR MORE INFO*
- INSULATE EXT WALLS WHERE ACCESSIBLE
- PATCH/REPAIR WLS, FLRS & CLGS @ REMODELED AREAS ONLY
- REINFORCE FLR JOISTS TO BE DRILLED FOR PLUMBING LINES @ REMODELED AREAS
- PROVIDE BLOCKING FOR TOWEL WARMER, TP HOLDER & ROBE HOOKS
- PROVIDE BLOCKING FOR SHELVING
- PROVIDE BLOCKING FOR FLOATING VANITY

1 : (N) TILE NICHE

**WINDOWS**

- ALL WINS ARE (E) & TLC ONLY
- HARDWARE SWAPS BY CLIENT IF NEC

1 : ASSIST CLIENT W/ CHANGE OF SCREEN

2 : TRANSOM WIN ABOVE DR

**DOORS**

- (N) HEADERS @ 80"
- (N) DRS CENTERED ON WL, UNO

**(N) MILLWORK**

- HEWN STAIN GRADE FIR, UNO

1 : 1X6 FIR BASE W/ SHOE; 1x4 MITERED CASING & SKIRT; 1" OG STOOL

**CABINETRY**

1 : CUSTOM FLOATING VANITY

2 : CUSTOM, FULL HEIGHT LINEN CAB

3 : CUSTOM RECESSED MED CAB

**FLOORING** (NOT PAINT OR TILE)

1 : REFINISH & PATCH (E) FIR FLR @ REG LOC - FUTURE PHASE

**PAINTING, STAINING & DECO**

- PAINT OR PAPER OVER UNEVEN SURFACE WILL BE UNEVEN

**WALL LEGEND**
SCALE: 1/4"=1'-0"

(E) BALUSTRADE
(N) HALF
DEMO FOUNDATION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(N) 2nd FLOOR PLAN

***Page No***

A2.2

A SOUTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

**EXT # — GENERAL EXTERIOR**

- ALL (N) EXTERIOR DETAILS TO CLOSELY MATCH (E)

**R # — ROOFING & GUTTERS**

- (N) ROOFING, GUTTERS & DOWNSPOUTS TO CLOSELY MATCH (E)
- (N) ROOFS TO BE INSULATED W/ RIDGE & EAVE VENTS PER COD

**DR # — DOORS** (10# (E) / 10# (N) / 10# SALV)

- (N) DOOR DETAILS TO CLOSELY MATCH (E)

1 : (N) SCREEN DR IN (E) LOC, NOT DRAWN

2 : (N) OVERHEAD GARAGE DR

**MX # — EXTERIOR MILLWORK**

- PATCH/REPAIR SIDING, CASING & OTHER MILLWORK AS NEC TO CLOSELY MATCH ADJC @ REMODELED AREAS ONLY
- MIN DISTANCE FROM (N) SIDING TO GRADE/DIRT @ 6" MIN PER CODE

1 : LACE IN (N) SIDING TO (E)

2 : SCALLOPED BARGE RAFTER TO MATCH (E) - NOT AS DRAWN

**E # — ELECTRICAL**

- RECESSED EXTERIOR OUTLETS, TYP
- (N) EXTERIOR LIGHTS TO BE HOODED DOWN LIGHTS TO MINIMIZE LIGHT POLLUTION

1 : ELEC METER (MAST NOT DRAWN)

2 : SCONCE CENTERED ABOVE DR, CL @ 15" ABOVE FINISHED HEADER

**F # — EXTERIOR PAINTING & STAINING**

- (N) PAINT TO CLOSELY MATCH (E)


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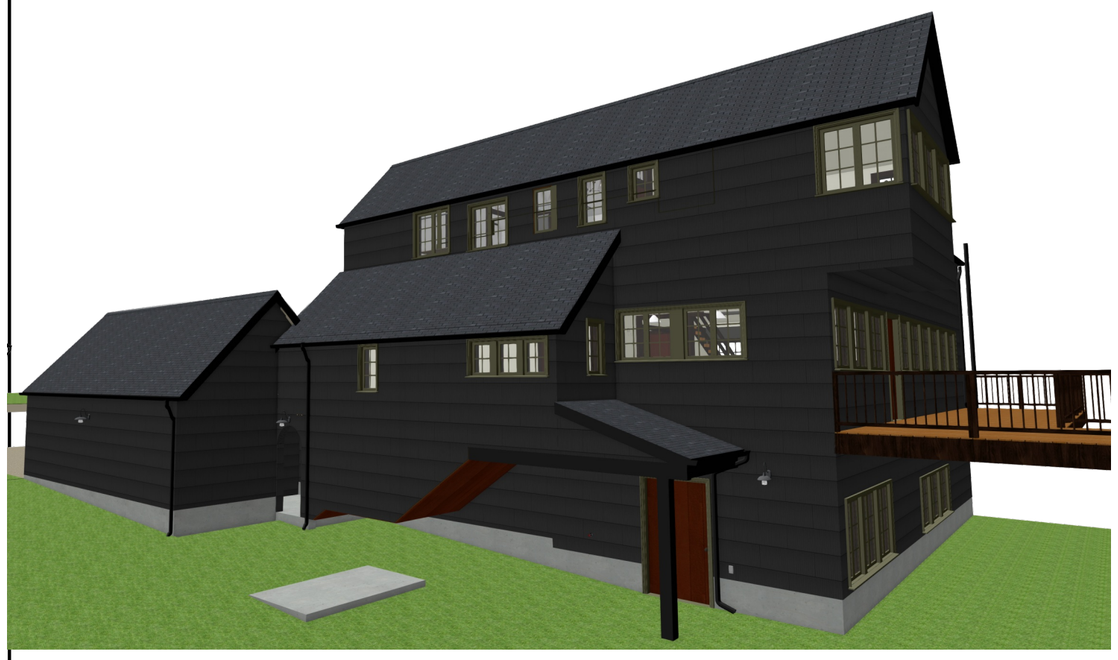
*Page Title*
SOUTH FACING ELEVATION & PERS

*Page No*
A3.1



## A EAST FACING ELEVATION

SCALE: 1/4" = 1'-0"

**EXT # — GENERAL EXTERIOR**

- (N) EXTERIOR DETAILS TO CLOSELY MATCH (E)

1 : STEP DOWN TO GRADE 8"H MAX

2 : (N) STAIRS SUSPEND OVER GROUND, SUPPORTED BY POST, BEAM & CONC LANDING

3 : (N) POST & BEAM SUPPORTING STAIRS & SHED ROOF

**R # — ROOFING & GUTTERS**

- (N) ROOFING, GUTTERS & DOWNSPOUTS TO CLOSELY MATCH (E)
- (N) ROOFS TO BE INSULATED W/ RIDGE & EAVE VENTS PER CODE

1 : DOWNSPOUT

**WIN # — WINDOWS** (A# (E) / A# (N) / A# SALV)

- (N) WINDOW DETAILS TO CLOSELY MATCH (E)

**DR # — DOORS** (10# (E) / 10# (N) / 10# SALV)

- (N) DOOR DETAILS TO CLOSELY MATCH (E)

1 : (N) ARCHED DOORWAY WRAPPED W/ SIDING

2 : FUTURE (N) SECURITY DR, NOT DRAWN

**MX # — EXTERIOR MILLWORK**

- PATCH/REPAIR SIDING, CASING & OTHER MILLWORK AS NEC TO CLOSELY MATCH ADJC @ REMODELED AREAS ONLY
- MIN DISTANCE FROM (N) SIDING TO GRADE/DIRT @ 6" MIN PER CODE

**E # — ELECTRICAL**

- RECESSED EXTERIOR OUTLETS, TYP
- (N) EXTERIOR LIGHTS TO BE HOODED DOWN LIGHTS TO MINIMIZE LIGHT POLLUTION

1 : (N) SCONCE CENTERED ON WL, JB @ 6" ABOVE ADJC ARCHED DR HEADER

2 : (N) SCONCE CENTERED ABOVE ARCHED DOORWAY, JB 6" ABOVE DR HEADER

3 : (N) SCONCE CENTERED ON EXT WL TO RIGHT OF DR, JB 6" ABOVE DR HEADER

4 : (N) OUTLET

**PL # — PLUMBING**

1 : (N) FROST FREE SPIGOT IN (E) LOC

2 : SEPTIC TANK

**F # — EXTERIOR PAINTING, STAINING & DECORATING**

- (N) PAINT TO CLOSELY MATCH (E)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*Page Title*
EAST FACING ELEVATION & PERS

*Page No*
A3.2

A NORTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

**EXT # GENERAL EXTERIOR**

- (N) EXTERIOR DETAILS TO CLOSELY MATCH (E)

1 : (N) STAIRS SUSPEND OVER GROUND, SUPPORTED BY POST, BEAM & CONC LANDING

2 : (N) POST & BEAM SUPPORTING STAIRS & SHED ROOF

**R # ROOFING & GUTTERS**

- (N) ROOFING, GUTTERS & DOWNSPOUTS TO CLOSELY MATCH (E)
- (N) ROOFS TO BE INSULATED W/ RIDGE VENTS

1 : DOWNSPOUT

**WIN # WINDOWS** A# (E) A# (N) A# SALV

- (N) WINDOW DETAILS TO CLOSELY MATCH (E)

**DR # DOORS** 10# (E) 10# (N) 10# SALV

- (N) DOOR DETAILS TO CLOSELY MATCH (E)

1 : (N) SCREEN DR, NOT DRAWN

**MX # EXTERIOR MILLWORK**

- PATCH/REPAIR SIDING, CASING & OTHER MILLWORK AS NEC TO CLOSELY MATCH ADJC @ REMODELED AREAS ONLY
- MIN DISTANCE FROM (N) SIDING TO GRADE/DIRT @ 6" MIN PER CODE

1 : V-GROOVE PANELING ON UNDERSIDE OF STAIRS

2 : SCALLOPED BARGE RAFTER TO MATCH (E) - NOT AS DRAWN

**F # EXTERIOR PAINTING, STAINING & DECORATING**

- (N) PAINT TO CLOSELY MATCH (E)


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NORTH FACING ELEVATION & PERS

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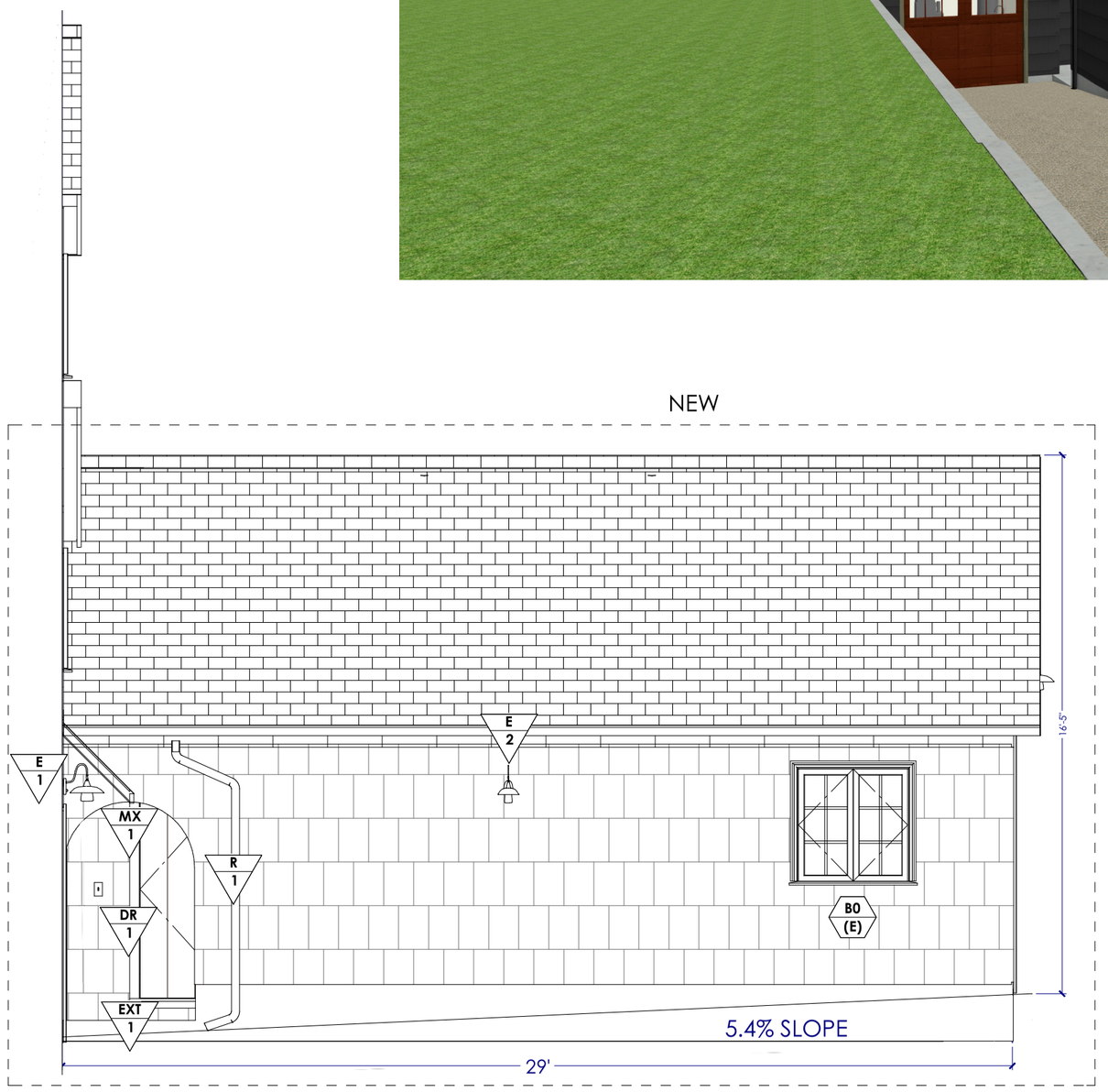


A WEST FACING ELEVATION
SCALE: 1/4" = 1'-0"

**EXT # GENERAL EXTERIOR**

- (N) EXTERIOR DETAILS TO CLOSELY MATCH (E)

1 : STEP DOWN TO DRIVEWAY 8" MAX

**R # ROOFING & GUTTERS**

- (N) ROOFING, GUTTERS & DOWNSPOUTS TO CLOSELY MATCH (E)
- (N) ROOF TO BE INSULATED W/ RIDGE & EAVE VENTS PER CODE

1 : DOWNSPOUT TO DRAIN INTO DRIVEWAY DRAIN

**WIN # WINDOWS** A# (E) A# (N) A# SALV

- (N) WINDOW DETAILS TO CLOSELY MATCH (E)

**DR # DOORS** 10# (E) 10# (N) 10# SALV

1 : (N) ARCHED DOORWAY WRAPPED W/ SIDING

**MX # EXTERIOR MILLWORK**

- PATCH/REPAIR SIDING, CASING & OTHER MILLWORK AS NEC TO CLOSELY MATCH ADJC @ REMODELED AREAS ONLY
- MIN DISTANCE FROM (N) SIDING TO GRADE/DIRT @ 6" MIN PER CODE

1 : V-GROOVE CLG IN MUD ROOM

**E # ELECTRICAL**

- RECESSED EXTERIOR OUTLETS, TYP
- (N) EXTERIOR LIGHTS TO BE HOODED DOWN LIGHTS TO MINIMIZE LIGHT POLLUTION

1 : (N) SCONCE CENTERED ABOVE GARAGE DR, JB 10" ABOVE HEADER

2 : (N) SCONCE CENTERED BTWN DR & WIN, JB TO ALIGN W/ ADJC SCONCE

**F # EXTERIOR PAINTING, STAINING & DECORATING**

- (N) PAINT TO CLOSELY MATCH (E)


ARCIFORM
design | restore | remodel

office (503) 493-7344
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since 1997

2303 N RANDOLPH AVE
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Travis Hagenbuch & Ben Green

40650 E HISTORIC COLUMBIA RIVER HWY
CORBETT, OR 97019

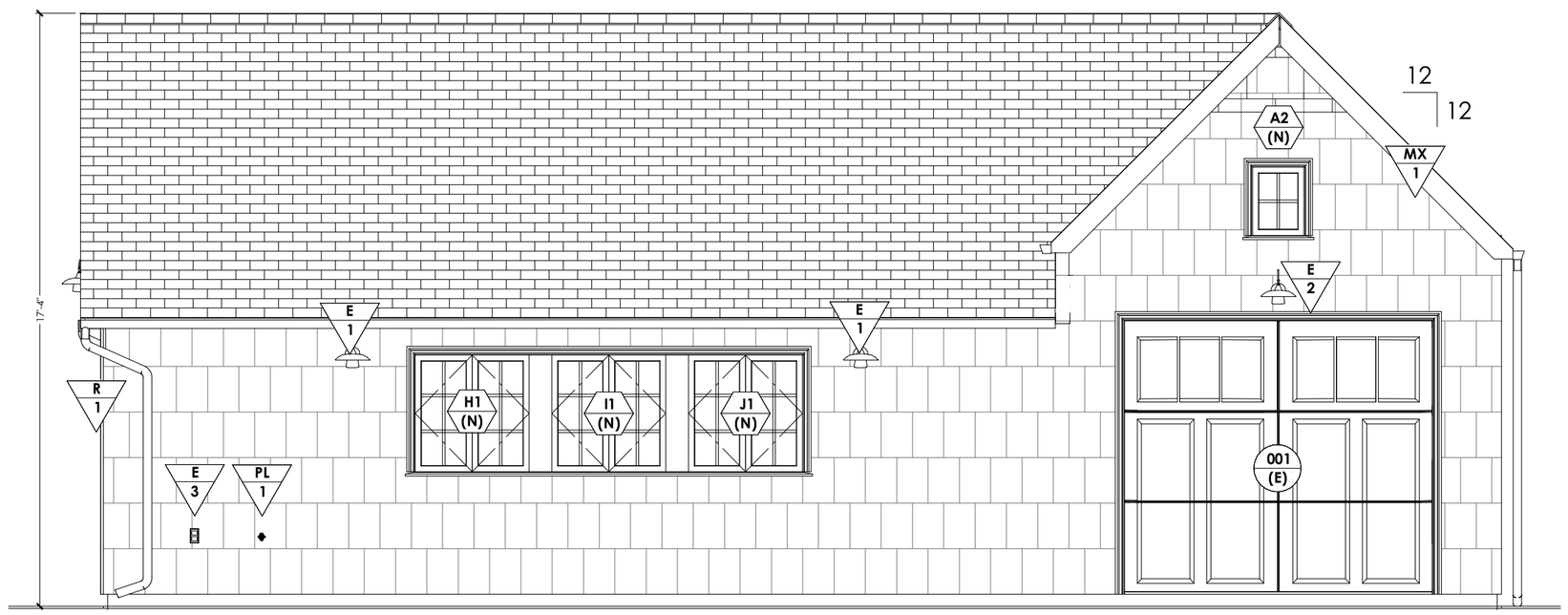
Project No.: **19021**

*Designer*
ANNE DE WOLF
*Junior Designer*
SARAH CROUSE
*Project Manager*
JOE HOFFMAN

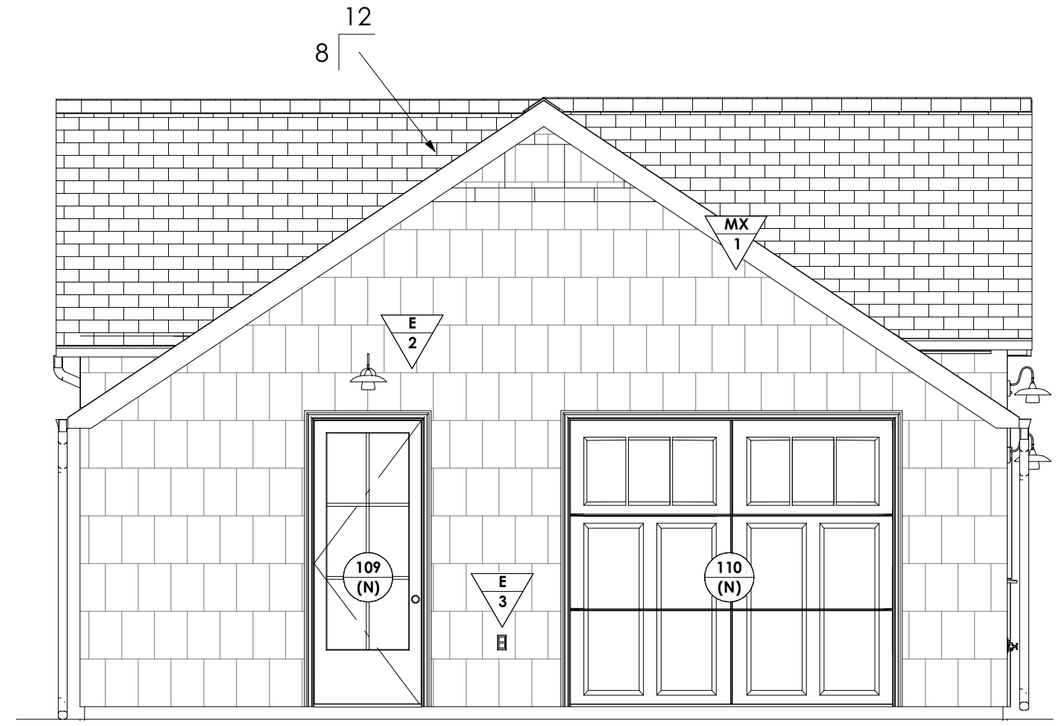
*Date*
3.26.21 NSA REVIEW APPLICATION

*Page Title*
WEST FACING ELEVATION & PERS

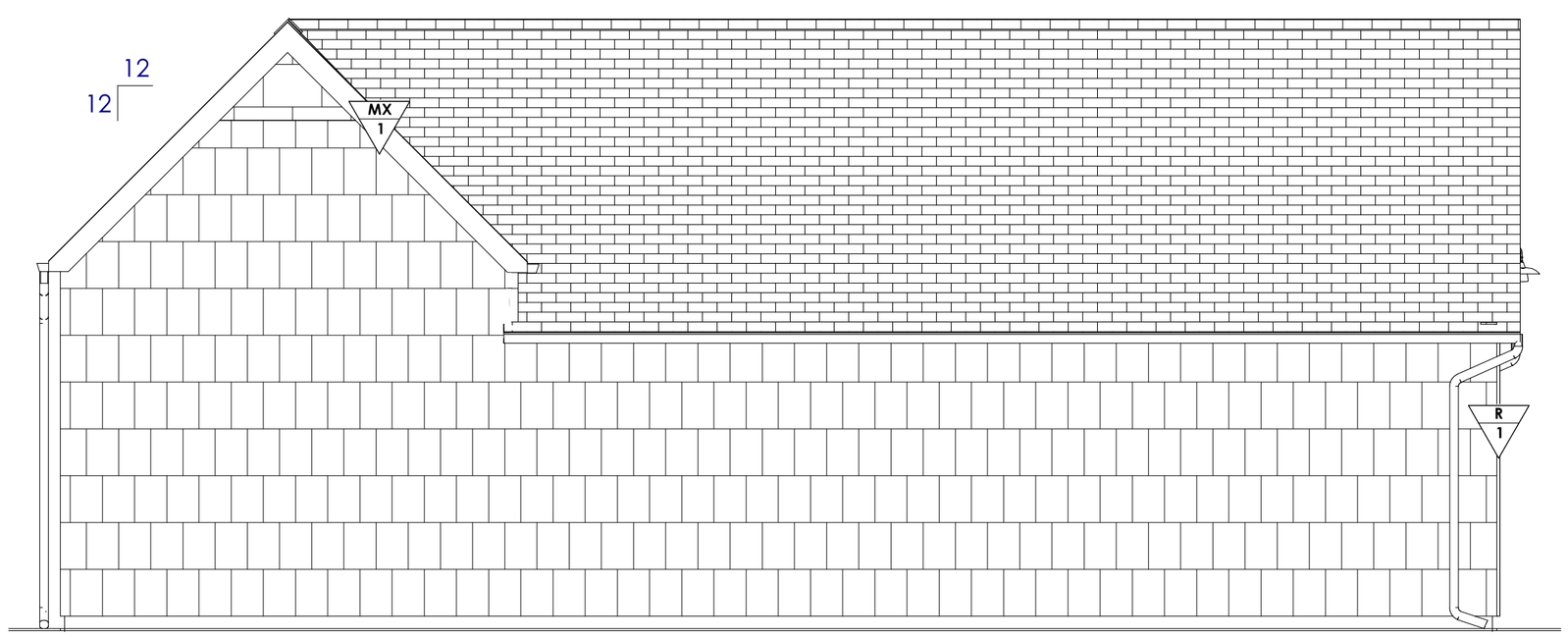
*Page No*
A3.4



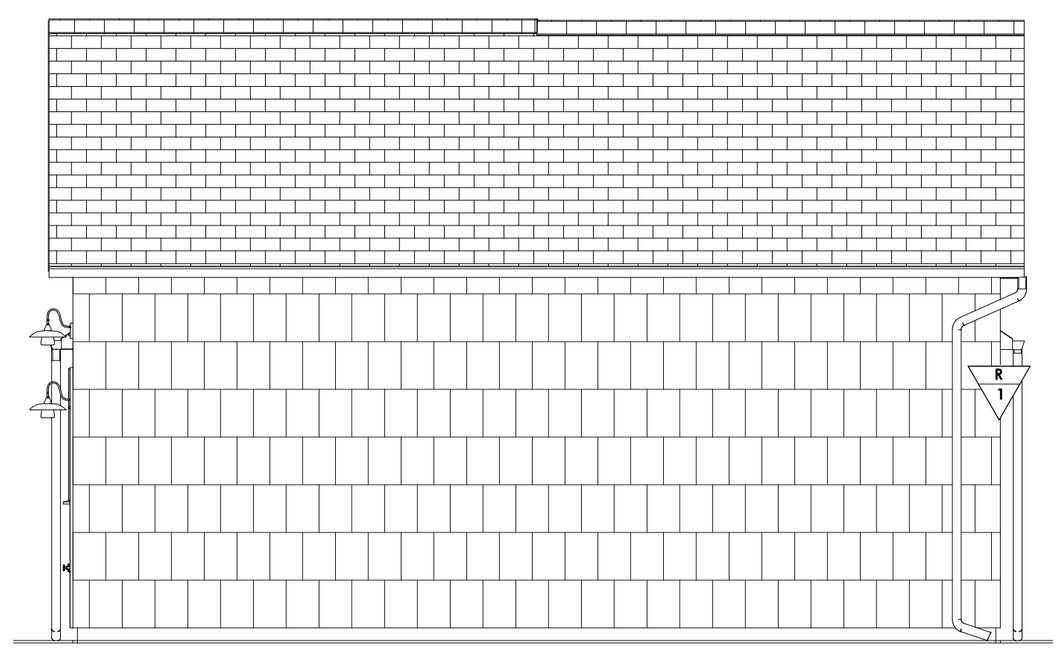

A WEST FACING ELEVATION
SCALE: 1/4" = 1'-0"




B NORTH FACING ELEVATION
SCALE: 1/4" = 1'-0"




C EAST FACING ELEVATION
SCALE: 1/4" = 1'-0"




D SOUTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

**EXT # — GENERAL EXTERIOR**
- CLOSELY MATCH (E) EXTERIOR DETAILS OF MAIN HOUSE

**R # — ROOFING & GUTTERS**
- (N) ROOFING, GUTTERS & DOWNSPOUTS TO CLOSELY MATCH (E)
- (N) ROOF TO BE INSULATED W/ RIDGE & EAVE VENTS

1 : DOWNSPOUT

**WIN # — WINDOWS** (A# (E) / A# (N) / A# SALV)
- ALL (N) WINDOW DETAILS TO CLOSELY MATCH (E)

**DR # — DOORS** (10# (E) / 10# (N) / 10# SALV)
- (N) DOOR DETAILS TO CLOSELY MATCH (E)

**MX # — EXTERIOR MILLWORK**
- CLOSELY MACH (E) MILLWORK DETAILS OF MAIN HOUSE
- MIN DISTANCE FROM SIDING TO GRADE IS 6"

1 : SCALLOPED BARGE RAFTERS TO MATCH (E) - NOT AS DRAWN

**E # — ELECTRICAL**
- RECESSED EXTERIOR OUTLETS, TYP
- HOODED DOWN LIGHT EXTERIOR SCONCES TO MINIMIZE LIGHT POLLUTION

1 : (N) SCONCE, 18" FROM WINDOW OPENING, JB ALIGNED W/ HEADER

2 : (N) SCONCE CENTERED ABOVE DR, JB 15" ABOVE FINISH HEADER

3 : (N) OUTLET

**PL # — PLUMBING**

1 : FROST FREE SPIGOT; LOC TBD W/ CLIENT

**F # — EXTERIOR PAINTING, STAINING & DECORATING**
- CLOSELY MATCH (E) EXTERIOR PAINT DETAILS OF MAIN HOUSE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***Page Title***
SHOP EXTERIOR ELEVATIONS

***Page No***
A3.5