

14 DAY OPPORTUNITY TO COMMENT

Application for Significant Environmental Concern for Wildlife Habitat (SEC-h) permit

This notice serves to notify neighboring property owners of the opportunity to submit written comments on the proposal described below. All comments should relate to the approval criteria and any neighbor that submits comments will receive the County's complete decision in the mail. **If you do not wish to submit comments, no response is necessary.**

Case File: T2-2021-14703

Location: **Address:** 9003 NW Skyline Blvd., Portland
Tax Account #: R773503100

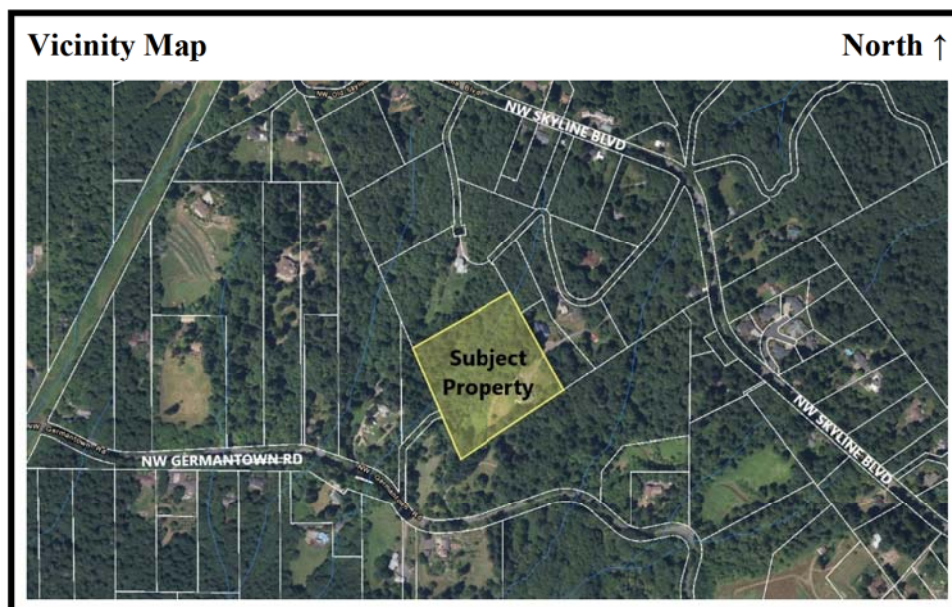
Map, Tax lot: 1N1W09A -03200
Property ID #: R270705

Applicant: Matt Newman, NW Engineers

Base Zone: Rural Residential (RR)

Overlays: Significant Environmental Concern for Wildlife Habitat (SEC-h), Significant Environmental Concern for Streams (SEC-s), Geologic Hazards (GH)

Proposal: Applicant requests a Significant Environmental Concern for Wildlife Habitat (SEC-h) permit to authorize the construction of a new accessory building ("garage"). The accessory building is located within the Significant Environmental Concern for Wildlife Habitat (SEC-h), but not within the Significant Environmental Concern for Streams (SEC-s) overlay or the Geologic Hazards (GH) overlay.



Comment Period: Written comments regarding this application will be accepted, if received by **4:00 pm on Thursday, January 6, 2022**. Comments should be directed toward approval criteria applicable to the request. Further information regarding this application, application materials, and other evidence relied upon for this application is available by contacting the planner, Rithy Khut at 503-988-0176 or rithy.khut@multco.us. Copies of these materials may be purchased for \$0.40/per page.

For this application to be approved, the proposal will need to meet the applicable approval criteria below:

Multnomah County Code (MCC): Violations, Enforcement and Fines: MCC 39.1515 Code Compliance and Applications

Definitions: MCC 39.2000 Definitions

Lot of Record: General Provisions: MCC 39.3005 Lot of Record – Generally, MCC 39.3090 Lot of Record – Rural Residential (RR)

Rural Residential (RR): MCC 39.4360(F) Allowed Uses – Accessory Structures, MCC 39.4375 Dimensional Requirements & Development Standards, MCC 39.6850 Dark Sky Lighting Standards

Significant Environmental Concern Overlays (SEC): MCC 39.5510 Uses; Sec Permit Required, MCC 39.5580 Nuisance Plant List, MCC 39.5850 SEC-h Clear and Objective Standards, MCC 39.5860 Criteria for Approval of SEC-h Permit – Wildlife Habitat

Copies of the referenced Multnomah County Code sections are available by contacting our office at (503) 988-3043 or by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link: **Chapter 39 - Zoning Code**

Decision Making Process: The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, any recognized neighborhood associations, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

Important Note: Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.

Enclosures:

Zoning Map

Site Plan

Floor Plan

Building Elevation

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.



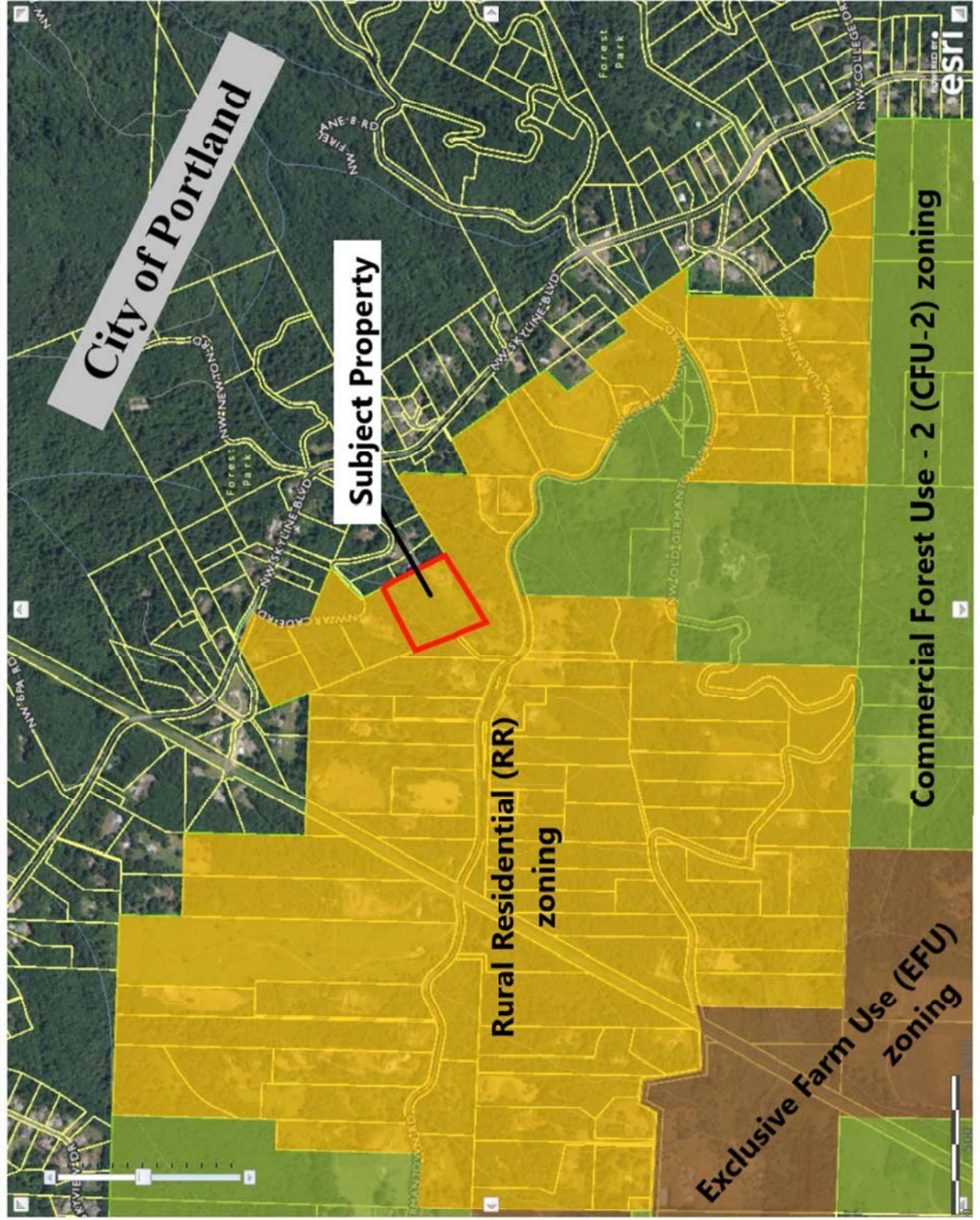
Department of Community Services
Land Use Planning and Transportation
Program
1600 SE 190th Ave.
Portland, OR 97233
Ph 503.988.3043
Fax 503.988.3389
Email: land.use.planning@multico.us

This map is based on data from non county sources.
This map is not printed to scale and should not be used for measurement.
Multnomah County cannot accept responsibility for errors, omissions or positional accuracy.
There are no warranties expressed or implied.

Map Comments:

Map showing zoning of 9003 NW Skyline Blvd, Portland (1N1W09A-03200 / R773503100 / R270705) and surrounding properties.

[Web Layout](#)



DESIGNED
DRAWN
REVIEWED
SUBMITTAL

REVISION	BY	DATE
1		
2		
3		
4		
5		
6		
7		

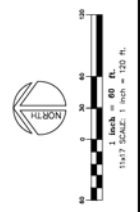
9003 NW SKYLINE BLVD
NO719
AERIAL PHOTOGRAPH

FOR: STUART BRIDGER
9003 NW SKYLINE BLVD
PORTLAND, OR 97221
PH: 503.320.0899
FAX MAP: IN1W09A
TAX LOT: 3200
MULTNOMAH COUNTY, OREGON



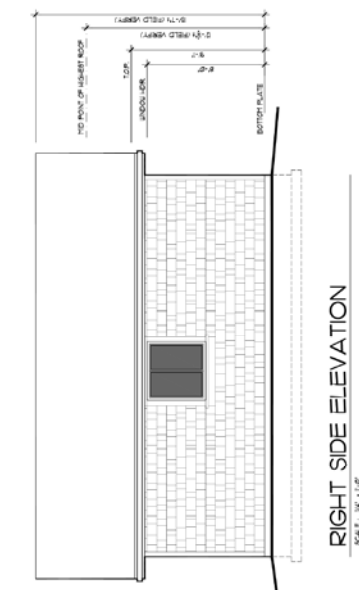
M&E ENGINEERS
Civil Engineering
& Land Use Planning

3409 NE 26th Street
Portland, OR 97218
503.603.4403

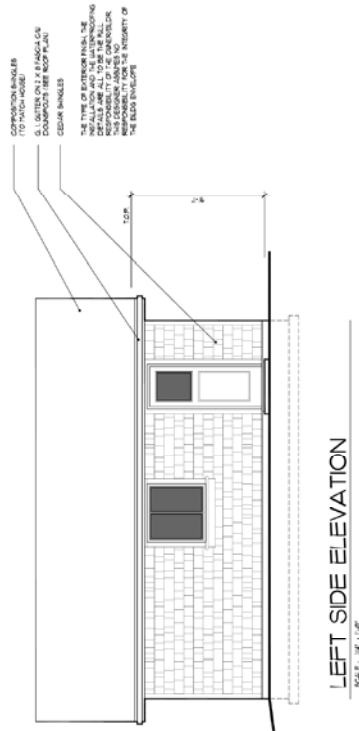


- NOTES:
1. AERIAL PHOTOGRAPH FROM METRO. DATE: 2017
 2. ADJACENT PARCELS AND BUILDINGS FROM METRO GIS DATA, FEBRUARY 9, 2021.

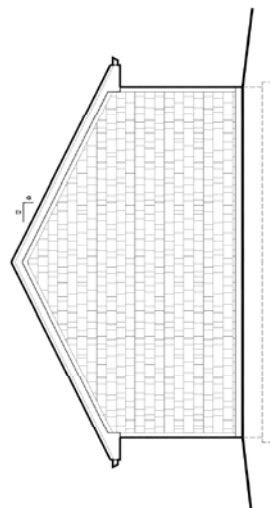




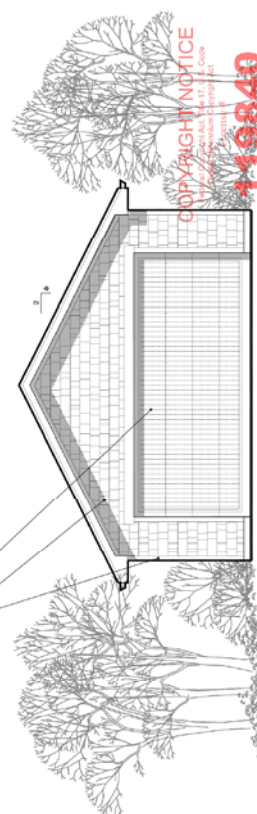
RIGHT SIDE ELEVATION



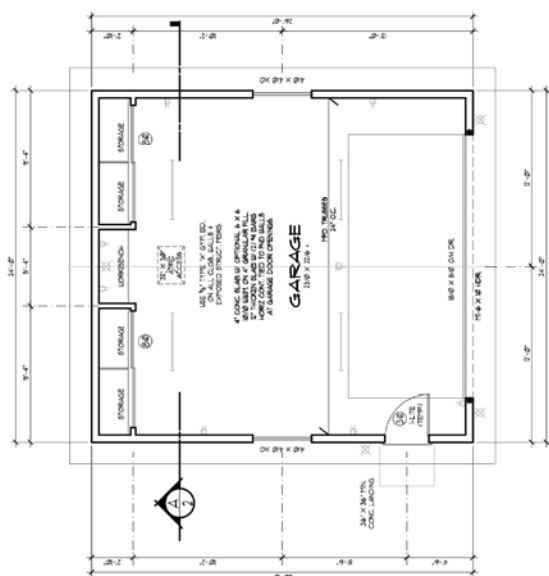
LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



GARAGE PLAN

- [illegible]

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES AND LEATHERPROOFING.

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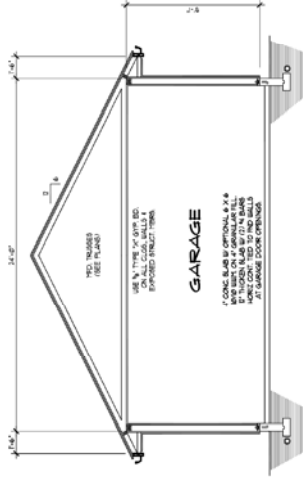
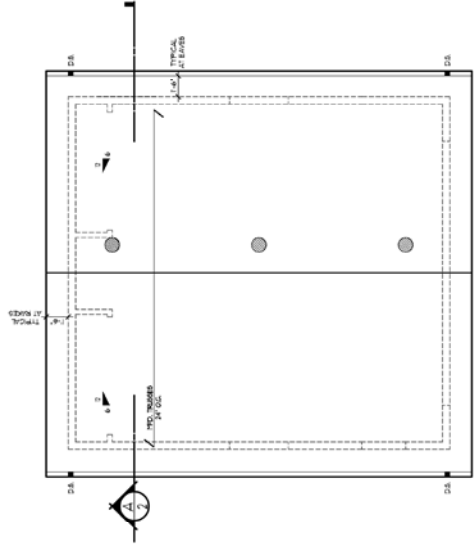
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		EAVE-BLOCKS		ROOF VENTS
% EAVE	AREA (m ²)	% ROOF	AREA (m ²)	3-VENT 4-VENT
6.0	175.1	4.0	32.8	3
6.0	175.1	4.0	32.8	3
56.7	163.8	43.3	29.7	36
53.3	151.6	46.7	37.9	3
5.0	47.8	5.0	14.8	3

[illegible][illegible][illegible]

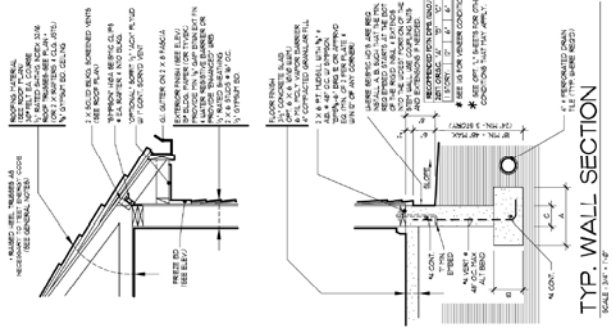
		ROOF VENTS		
		EAVE-BLOCKS		ROOF VENTS
% EAVE	AREA (m ²)	% ROOF	AREA (m ²)	3-VENT 4-VENT
6.0	175.1	4.0	32.8	3
6.0	175.1	4.0	32.8	3
56.7	163.8	43.3	29.7	36
53.3	151.6	46.7	37.9	3
5.0	47.8	5.0	14.8	3

[illegible]

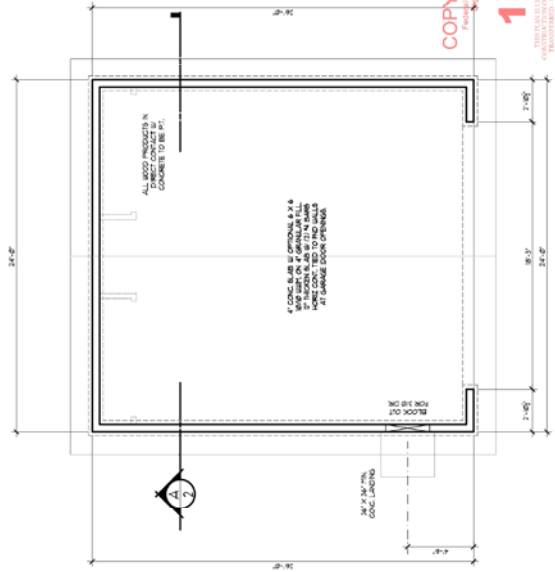
SCALE = 100 = 100000


$$\text{SCALE} = 10^6 + 10^8$$


SCALE = 3/16" = 1'-0"



SCALE: 100% = 100%



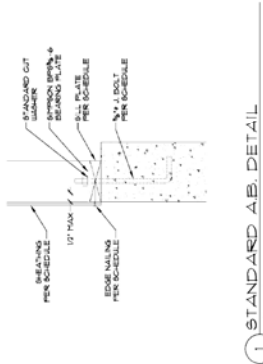
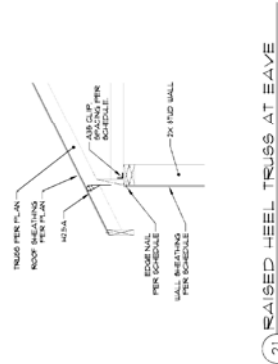
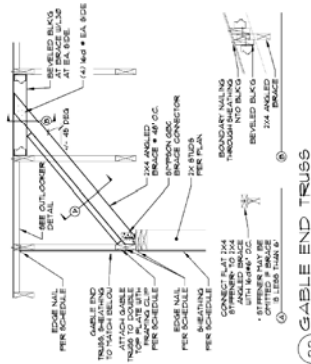
COPYRIGHT NOTICE
Federal Copyright Act, Title 17, U.S. Code
Section 107: Fair Use; Section 108: Copyright Clearance Center, Inc.

119840

GENERAL NOTES

- (1) All fasteners exposed to weather shall be galvanized.
- (2) All exterior walls shall be built to meet all structural requirements as a minimum.
- (3) Sheathing on sheowalls shall not be interrupted by any wall bulding into sheowall.
- (4) Bulider to verify installation requirements for all hardware connections per manufacturer.
- (5) All floor joists: lumber to be installed with maximum moisture content of 16%.
- (6) All hardware & lumber in contact with p.t. lumber shall be stainless steel, Z-max or hot dip galvanized.

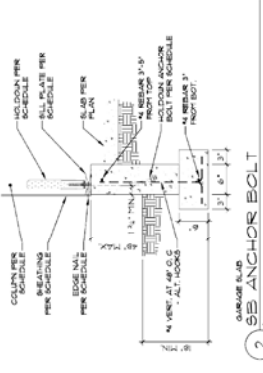
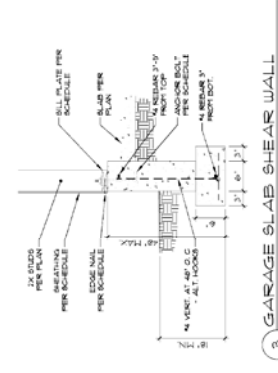
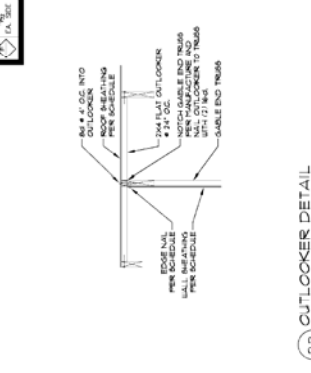
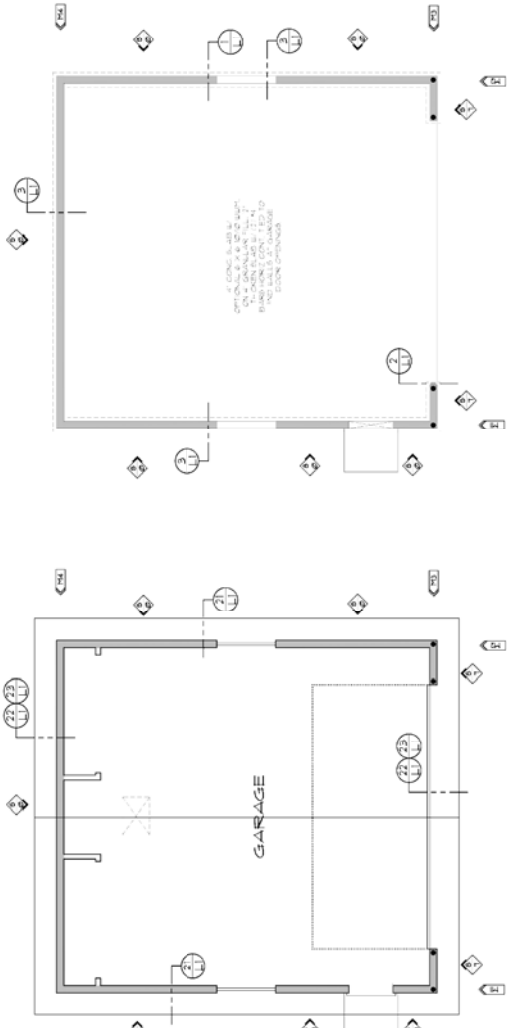
•SPACING OF THESE CLIPS IS REQUIRED ON BOTH



LEGEND

- APPROX. HOLD-DOWN LOCATION
- SHEAR WALL LOCATION TO CENTERLINE OF SHEAR WALL
- 2K SILL PLATE REQUIRED
- 2-2X6 SILL PLATE REQUIRED
- 2X SILL PLATE REQUIRED
- SHEAR WALL LINE
- LOAD FROM ABOVE
- DOUBLE 2x4 U.N.O.

PLEASE NOTE:
THE TOP OF THE CONNECTED FLOOR SHEAR WALL

FLOOR SHEAR
TYPICAL CONNECTION[illegible]

MAIN FLOOR PLAN

FOUNDATION PLAN