

14 DAY OPPORTUNITY TO COMMENT

Application for National Scenic Area (NSA) Site Review

This notice serves to notify neighboring property owners of the opportunity to submit written comments on the proposal described below. All comments should relate to the approval criteria and any neighbor that submits comments will receive the County's complete decision in the mail. **If you do not wish to submit comments, no response is necessary.**

Case File: T2-2021-15126

Location: **Property 1:** 1525 NE Crestview Lane, Corbett Map, Tax Lot: 1N4E35AA -00300
Alternate Account #: R944350460 Property ID #: R322726
- and -
Property 2: 37201 NE Benfield Road, Corbett Map, Tax Lot: 1N4E35A -01800
Alternate Account #: R944350020 Property ID #: R322692

Applicant: Dale Burkholder

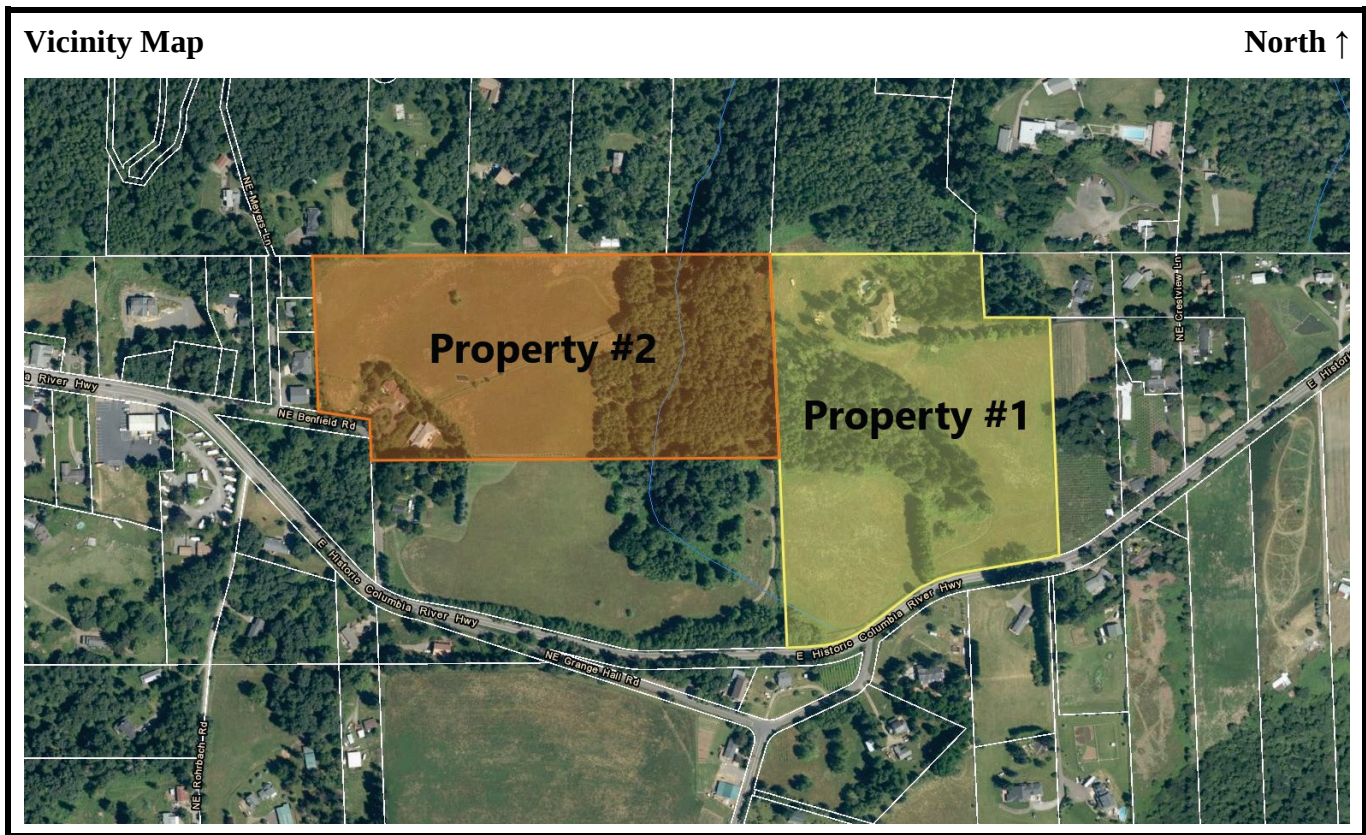
Base Zone: Gorge General Agricultural (GGA-40)

Key Viewing Areas: Columbia River, Historic Columbia River Highway, Interstate I-84 including rest stops, Larch Mountain Road, Sandy River, Sherrard Point on Larch Mountain, Washington State Route 14

Landscape Setting: Pastoral

Proposal: Applicant requests a National Scenic Area Site Review to authorize the construction of an agricultural building on 1525 NE Crestview Lane and review of ground disturbance that was not previously reviewed by the County on both properties.

Comment Period: Written comments regarding this application will be accepted, if received by **4:00 pm on Thursday, July 7, 2022**. Comments should be directed toward approval criteria applicable to the request. Further information regarding this application, application materials, and other evidence relied upon for this application is available by contacting the planner, Rithy Khut at 503-988-0176 or rithy.khut@multco.us. Copies of these materials may be purchased for \$0.40/per page.



For this application to be approved, the proposal will need to meet the applicable approval criteria below:

Multnomah County Code (MCC): General Provisions: MCC 38.0015 Definitions, MCC 38.0030 Existing Uses and Discontinued Uses, MCC 38.0560 Code Compliance and Applications

Agricultural Districts – Gorge General Agriculture (GGA): MCC 38.2225(A)(3) Review Uses - Agricultural buildings in conjunction with current agricultural use..., MCC 38.2260 Dimensional Requirements, MCC 38.2290 Access

NSA Site Review: MCC 38.7035 GMA Scenic Review Criteria, MCC 38.7045 GMA Cultural Resource Review Criteria, MCC 38.7055 GMA Wetland Review Criteria, MCC 38.7060 GMA Stream, Lake and Riparian Area Review Criteria, MCC 38.7065 GMA Wildlife Review Criteria, MCC 38.7070 GMA Rare Plant Review Criteria, MCC 38.7080 GMA Recreation Resource Review

Special Uses – Approval Criteria and Submittal Requirements: MCC 38.7340 Agricultural Buildings

Ground Disturbing Activity and Stormwater: MCC 39.6210 Permits Required, MCC 39.6225 Erosion and Sediment Control Permit, MCC 39.6235 Stormwater Drainage Control

Copies of the referenced Multnomah County Code sections can be obtained by contacting our office or by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 38 – Columbia River Gorge National Scenic Area** and **Chapter 39 – Zoning Code**.

Decision Making Process: The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

Important Note: Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Columbia River Gorge Commission.

Enclosures:

Zoning Map

Site Plan

Site Plan – Topographic Map

Building Elevation and Floor Plans

Grading Plans

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.



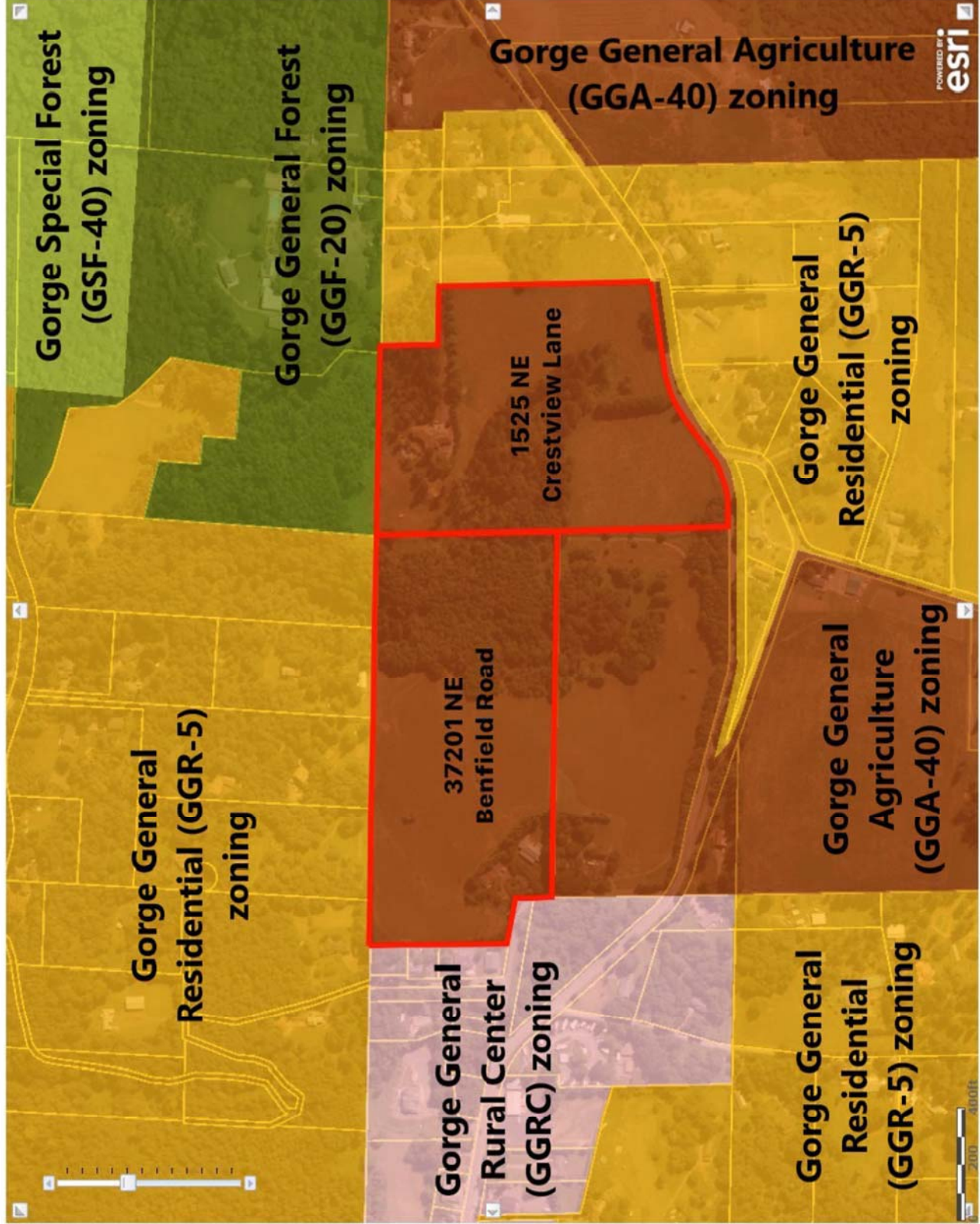
Department of Community Services
Land Use Planning and Transportation
Program
1600 SE 190th Ave.
Portland, OR 97233
Ph 503.988.3043
Fax 503.988.3389
Email: land.use.planning@multco.us

This map is based on data from non county sources.
This map is not printed to scale and should not be used for measurement.
Multnomah County cannot accept responsibility for errors, omissions or positional accuracy.
There are no warranties expressed or implied.

Map Comments:

Map showing zoning of 1525 NE Crestview Lane, Corbett, 37201 NE Benfield Road, Corbett, and surrounding properties.

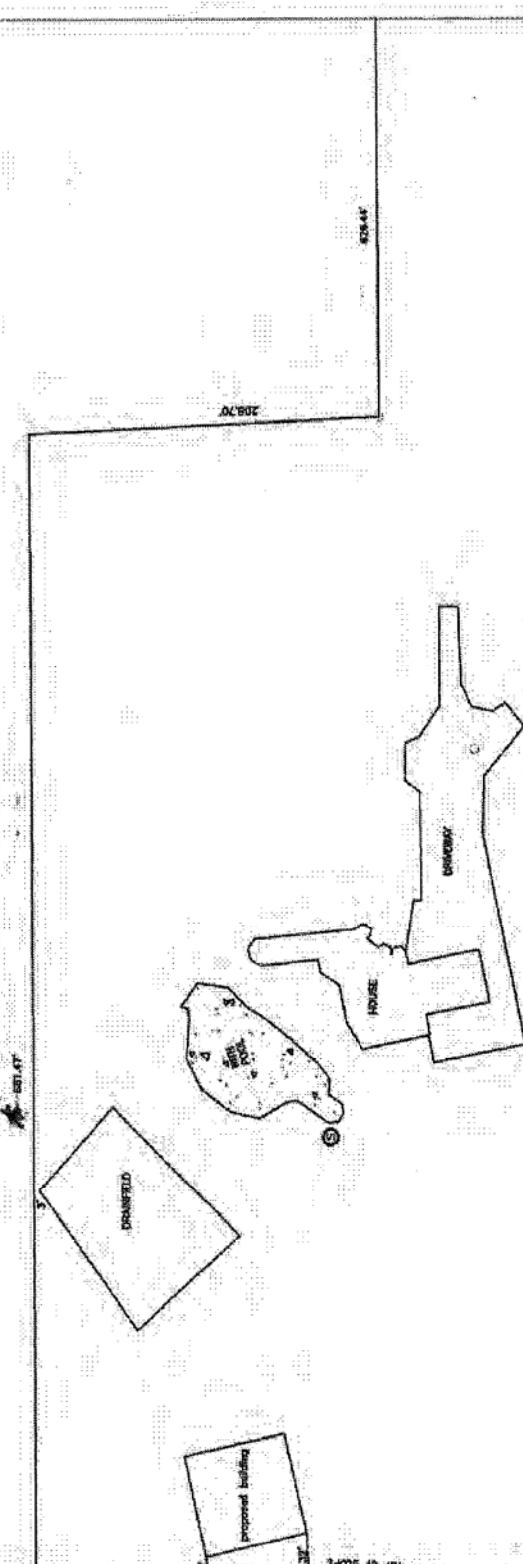
[Web Layout](#)





NEED OF SILENT FENCE

SILENT FENCE



REGISTERED
PROFESSIONAL
LAND SURVEYOR

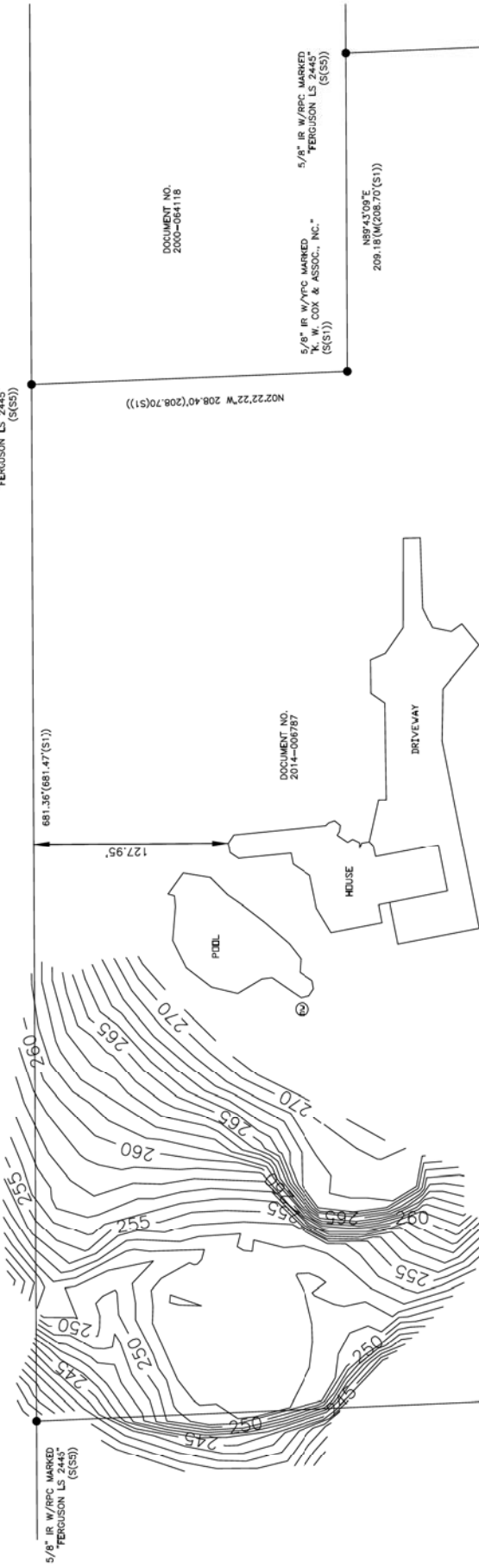
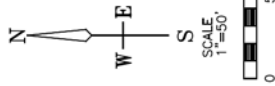
DRAFT

OREGON
JULY 26, 2002
JOE H. FERGUSON
2045
RENEWAL DATE 12/31/15

SYMBOLS
S = SEPTIC TANK

Ferguson Land Surveying, Inc. 646 SE 106TH AVE. PORTLAND, OR 97216 Phone (503) 408-0601 Fax (503) 408-0602 www.FergusonLandSurveying.com	SITE PLAN LOCKED IN THE NE 1/4 SECTION 24, T14N, R4E, W4E MULTNOMAH COUNTY, OREGON	CLIENT: BUREAU OF LAND MANAGEMENT 15225 NE CRESTVIEW LANE CORVALLIS, OREGON	DATE: FEBRUARY 1, 2016	JOB NO. 18-018 DRAFTED 2.1.16 SHEET 1 OF 1
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RECEIVED
2018 AUG 22 PM 1:57
MULTNOMAH COUNTY
PLANNING SECTION



DOCUMENT NO.
2000-064118

5/8" IR W/RPC MARKED
"FERGUSON LS 2445"
(S(S))

NBP4309'E
209.18 (M208.70'(S11))

DOCUMENT NO.
2014-006787

681.36'(681.47'(S11))

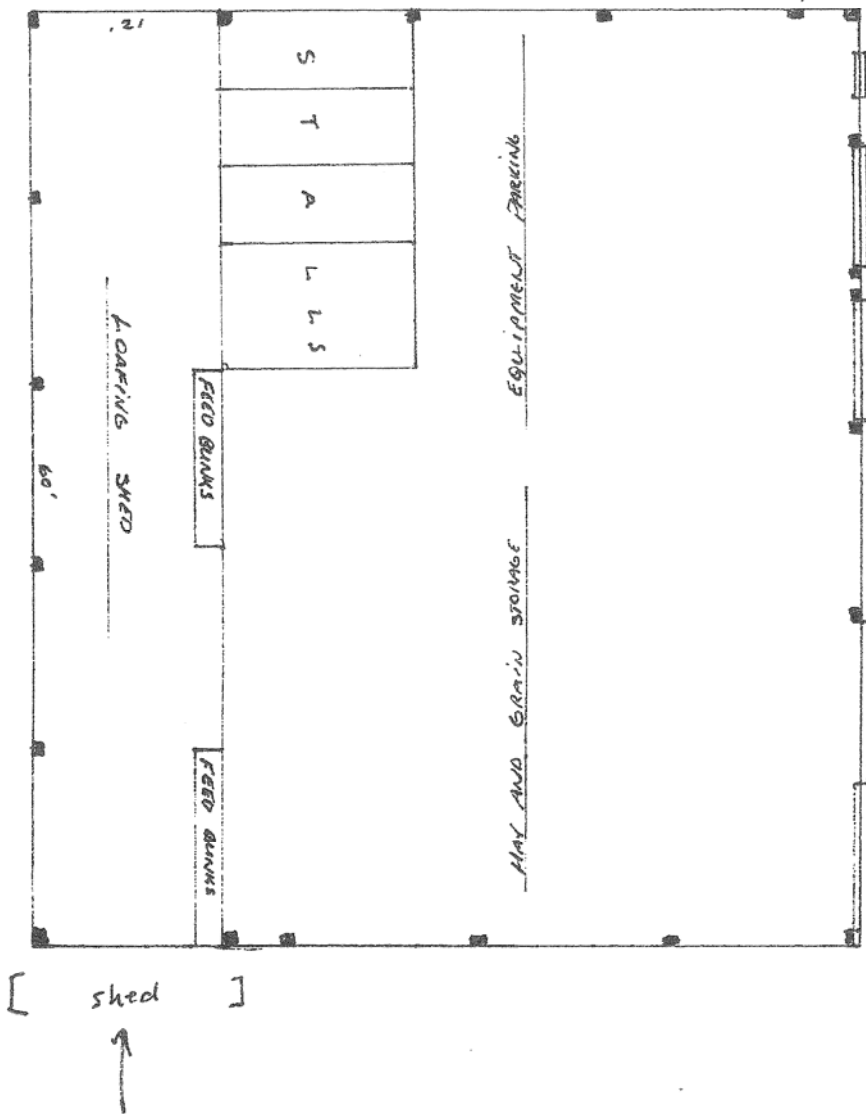
127.95'

N02°22'22"W 208.40'(208.70'(S11))

5/8" IR W/RPC MARKED
"FERGUSON LS 2445"
(S(S))

EXHIBIT
A.17

Ferguson Land Surveying, Inc. 646 SE 106TH AVE. PORTLAND, OR 97216 Phone (503) 408-0601 Fax (503) 408-0602 www.FergusonLandSurveying.com	SITE PLAN LOCATED IN THE NE 1/4, OF SECTION 35, T.1N., R.4E., W.M. MULTNOMAH COUNTY, OREGON	CLIENT: RANDY BUREACH 1525 NE CRESTVIEW LANE CORBETT, OREGON	DATE: OCTOBER 4, 2018 JOB NO. 18-010 DRAFTED 10.4.18 REVIEWED REVIEWED REVIEWED SHEET 1 OF 1
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1" = 10'

1525 NE CRISTINA LN
CORVALLIS, OR 97019

FLOOR PLAN

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE PROVISIONS OF THE MULTNOMAH COUNTY PUBLIC WORKS STANDARDS.
2. IN ORDER TO PROTECT UNDERGROUND FACILITIES, EXCAVATORS PERFORMING THE WORK SET FORTH IN THESE PLANS MUST COMPLY WITH THE PROVISIONS OF ORS 757.541 TO 757.571 (REQUIRES CONTRACTOR TO NOTIFY UTILITIES AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO ANY EXCAVATION).

4. TRENCHES WITHIN PUBLIC RIGHT OF WAYS SHALL BE BACKFILLED WITH AN APPROVED GRANULAR MATERIAL CONFORMING TO APWA CLASS B SPECIFICATIONS.

5. TRENCHES OUTSIDE PUBLIC RIGHT OF WAY MAY BE BACKFILLED IN ACCORDANCE WITH NATIVE PLANT AND COMPACTION SPECIFICATIONS FOR APWA CLASS A BACKFILL.
6. VEGETATION AND TOPSOIL ARE TO BE STRIPPED TO MINERAL EARTH AND INSPECTED PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.
7. IN ADDITION TO ANY REQUIRED COMPACTION TESTING, THE ENGINEER MAY REQUIRE A PROXY ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK COMPACTION PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS AND AGAIN TO THE COMPLETION OF ROCK SUBBASE AND AGAIN TO THE COMPLETION OF THE PLACEMENT OF THE BASE ROAD PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.

8. ASPHALTIC CONCRETE MIX IS TO BE BATCHED FROM A MIX FORMULA APPROVED BY MULTNOMAH COUNTY FOR MATERIAL USED. PAVING CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE.

9. SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A DEFECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS. THE OWNER AND IN A MANNER ACCEPTABLE TO THE OWNER, A PERFORMANCE BOND IS REQUIRED TO GUARANTEE REPAIRS UNDER THE WARRANTY PERIOD, UNLESS WAIVED BY THE OWNER.

11. CONTRACTOR SHALL CAREFULLY MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS AND OTHER REFERENCE POINTS. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY REPAIR OR REPLACEMENT. THE ENGINEER SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS AND OTHER SUCH MONUMENTS.

12. EXCESS EXCAVATED MATERIAL SHALL BE HAULED AND DISPOSED OF AT SITES PROVIDED BY THE OWNER AND APPROVED PURSUANT TO AN APPROPRIATE GRADING PERMIT. FILL SITES SHALL BE LEVELLED AND GRADED TO DRAIN. THE CONTRACTOR SHALL CORRECT ANY FILL RELATED CONDITIONS.
13. FINAL CLEANUP - PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER MATERIALS NOT REQUESTED BY THIS CONTRACT. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THE FOLLOWING:

14. A PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. CONTACT MULTNOMAH COUNTY PERMITS FOR PERMIT APPLICATION FORMS.

15. A SEPARATE EROSION CONTROL PERMIT ISSUED BY THE MULLINBAX COUNTY LAND USE PLANNING DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK (INCLUDING CLEARING) ON THE SITE.
16. THE CONTRACTOR SHALL SUBMIT A GRADING SCHEDULE WITH THE GRADING AND EROSION CONTROL PERMIT.

17. AN EROSION CONTROL INSPECTION IS REQUIRED BEFORE ANY GROUND-DISTURBING ACTIVITY IS COMMENCED ON THE SITE.

18. ALL WORK MUST COMPLY WITH THE MULTNOMAH COUNTY EROSION CONTROL STANDARDS.
19. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN WITH BIKE / PEDESTRIAN ACCOMMODATIONS

1. FILLS SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM TEST SD 1557-91, METHOD A, OR AN EQUIVALENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS FOR SUCH TESTING AND FOR SUPPLYING THE RESULTS TO THE ENGINEER.

2. SITE PREPARATION MUST INCLUDE THE REMOVAL OF VEGETATION, NON-COMPACTING FILL, TOPSOIL OR OTHER UNSUITABLE MATERIAL PRIOR TO PLACEMENT OF THE FILL. FILL SLOPES SHALL NOT EXCEED A GRADE OF 3 HORIZONTAL TO 1 VERTICAL.
3. ALL CUTS SHALL BE MADE CONSISTENT WITH THE DETAILS NOTED IN THE PLANS. NO CUT SHALL EXCEED A GRADE OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS APPROVED BEFOREHAND BY THE ENGINEER.

4. APPROPRIATE BENCHING OF FILLS IS REQUIRED FOR FILLS OVER 5 FEET IN HEIGHT ON SLOPES IN EXCESS OF 5 HORIZONTAL TO 1 VERTICAL. BENCHING MUST BE DONE AS PER THE APPROVED

5. CUT AND FILL SLOPES SHALL BE PROTECTED FROM EROSION. SUCH CONTROL MAY CONSIST OF APPROPRIATE REVEGETATION OR OTHER ACCEPTABLE MEANS AND METHODS. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTHWORK OR SITE STRIPPING.

FIRWOOD DESIGN GROUP
KELLI A. GROVER P.E.
359 E. HISTORIC COLUMBIA RIVER HWY
TROUTDALE, OREGON 97060
V 503-668-3737
F 503-668-3788
kg@firwooddesign.com

RANDALL BURBACH
1525 NE CRESTVIEW LANE
CORBETT OREGON 97019

SHEET 1 - COVER SHEET AND NOTES
SHEET 2 - PRELIMINARY PLAT
SHEET 3 - POST GRADING EXISTING CONDITIONS
SHEET 4 - PRE GRADING EXISTING CONDITIONS

SCALE: 1"=600'



DATE:	NO.	REVISION:	PROJECT NO. E19-029	SCALE: AS SHOWN	DATE: JULY 2019	CHECKED:	DRAWN:

	07/29/2019	08/06/2019	08/13/2019	08/20/2019	08/27/2019	09/03/2019	09/10/2019	09/17/2019	09/24/2019	10/01/2019	10/08/2019	10/15/2019	10/22/2019	10/29/2019	11/05/2019	11/12/2019	11/19/2019	11/26/2019	12/03/2019	12/10/2019	12/17/2019	12/24/2019	12/31/2019	01/07/2020	01/14/2020	01/21/2020	01/28/2020	02/04/2020	02/11/2020	02/18/2020	02/25/2020	03/04/2020	03/11/2020	03/18/2020	03/25/2020	04/01/2020	04/08/2020	04/15/2020	04/22/2020	04/29/2020	05/06/2020	05/13/2020	05/20/2020	05/27/2020	06/03/2020	06/10/2020	06/17/2020	06/24/2020	07/01/2020	07/08/2020	07/15/2020	07/22/2020	07/29/2020	08/05/2020	08/12/2020	08/19/2020	08/26/2020	09/02/2020	09/09/2020	09/16/2020	09/23/2020	09/30/2020	10/07/2020	10/14/2020	10/21/2020	10/28/2020	11/04/2020	11/11/2020	11/18/2020	11/25/2020	12/02/2020	12/09/2020	12/16/2020	12/23/2020	12/30/2020	01/06/2021	01/13/2021	01/20/2021	01/27/2021	02/03/2021	02/10/2021	02/17/2021	02/24/2021	03/03/2021	03/10/2021	03/17/2021	03/24/2021	03/31/2021	04/07/2021	04/14/2021	04/21/2021	04/28/2021	05/05/2021	05/12/2021	05/19/2021	05/26/2021	06/02/2021	06/09/2021	06/16/2021	06/23/2021	06/30/2021	07/07/2021	07/14/2021	07/21/2021	07/28/2021	08/04/2021	08/11/2021	08/18/2021	08/25/2021	09/01/2021	09/08/2021	09/15/2021	09/22/2021	09/29/2021	10/06/2021	10/13/2021	10/20/2021	10/27/2021	11/03/2021	11/10/2021	11/17/2021	11/24/2021	12/01/2021	12/08/2021	12/15/2021	12/22/2021	12/29/2021	01/05/2022	01/12/2022	01/19/2022	01/26/2022	02/02/2022	02/09/2022	02/16/2022	02/23/2022	03/02/2022	03/09/2022	03/16/2022	03/23/2022	03/30/2022	04/06/2022	04/13/2022	04/20/2022	04/27/2022	05/04/2022	05/11/2022	05/18/2022	05/25/2022	06/01/2022	06/08/2022	06/15/2022	06/22/2022	06/29/2022	07/06/2022	07/13/2022	07/20/2022	07/27/2022	08/03/2022	08/10/2022	08/17/2022	08/24/2022	08/31/2022	09/07/2022	09/14/2022	09/21/2022	09/28/2022	10/05/2022	10/12/2022	10/19/2022	10/26/2022	11/02/2022	11/09/2022	11/16/2022	11/23/2022	11/30/2022	12/07/2022	12/14/2022	12/21/2022	12/28/2022	01/04/2023	01/11/2023	01/18/2023	01/25/2023	02/01/2023	02/08/2023	02/15/2023	02/22/2023	03/01/2023	03/08/2023	03/15/2023	03/22/2023	03/29/2023	04/05/2023	04/12/2023	04/19/2023	04/26/2023	05/03/2023	05/10/2023	05/17/2023	05/24/2023	05/31/2023	06/07/2023	06/14/2023	06/21/2023	06/28/2023	07/05/2023	07/12/2023	07/19/2023	07/26/2023	08/02/2023	08/09/2023	08/16/2023	08/23/2023	08/30/2023	09/06/2023	09/13/2023	09/20/2023	09/27/2023	10/04/2023	10/11/2023	10/18/2023	10/25/2023	11/01/2023	11/08/2023	11/15/2023	11/22/2023	11/29/2023	12/06/2023	12/13/2023	12/20/2023	12/27/2023	01/03/2024	01/10/2024	01/17/2024	01/24/2024	02/01/2024	02/08/2024	02/15/2024	02/22/2024	03/01/2024	03/08/2024	03/15/2024	03/22/2024	03/29/2024	04/05/2024	04/12/2024	04/19/2024	04/26/2024	05/03/2024	05/10/2024	05/17/2024	05/24/2024	05/31/2024	06/07/2024	06/14/2024	06/21/2024	06/28/2024	07/05/2024	07/12/2024	07/19/2024	07/26/2024	08/02/2024	08/09/2024	08/16/2024	08/23/2024	08/30/2024	09/06/2024	09/13/2024	09/20/2024	09/27/2024	10/04/2024	10/11/2024
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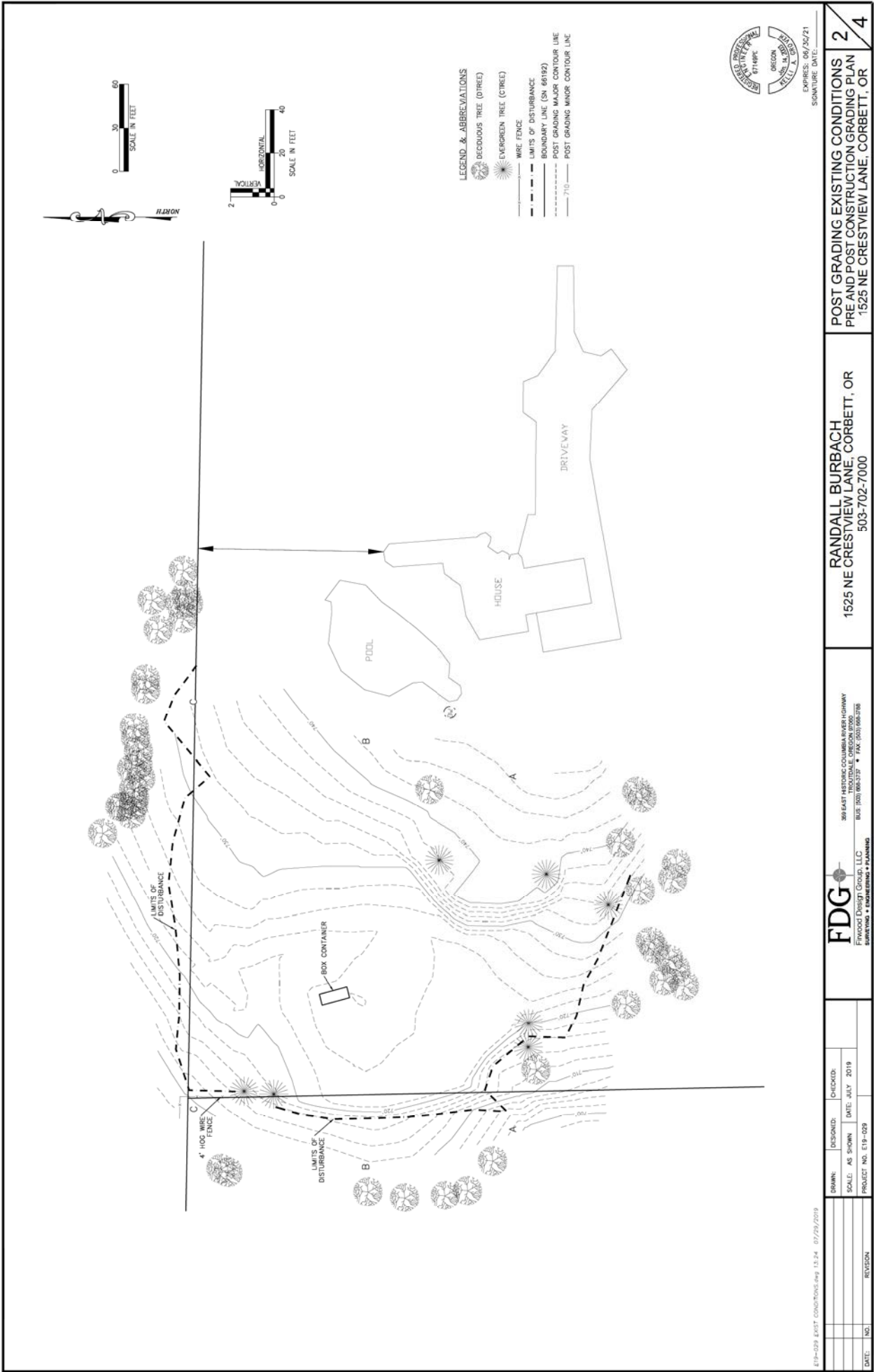
359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
BUS: (503) 668-3737 • FAX: (503) 668-3768

RANDALL BURBACH
1525 NE CRESTVIEW LANE, CORBETT, OR
503-702-7000

COVER SHEET AND NOTES
PRE AND POST CONSTRUCTION GRADING PLAN
1525 NE CRESTVIEW LANE, CORBETT, OR

EXPIRES: 06/30/21
SIGNATURE DATE:

EXHIBIT
A.27



619-029 EXIST CONDITIONS.mxd 13.24 07/29/2019

DATE: NO. REVISION

DRAWN: DESIGNED: CHECKED: DATE: JULY 2019

SCALE: AS SHOWN

PROJECT NO. E19-029

REVISION



369 EAST HISTORIC COLUMBIA RIVER HIGHWAY
BUE 500 868-3237 • FAX 500 988-3788

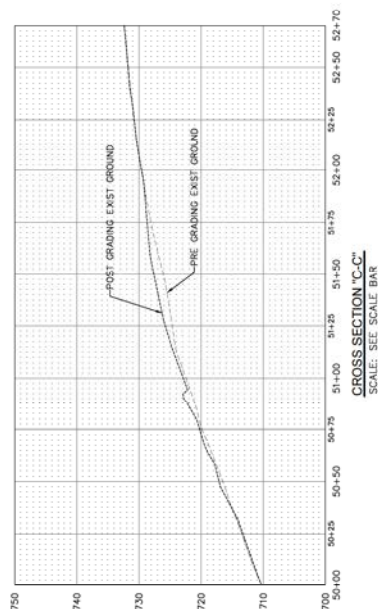
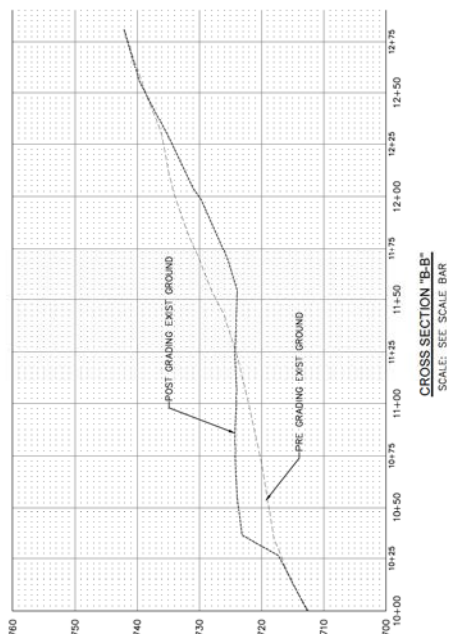
RANDALL BURBACH
1525 NE CRESTVIEW LANE, CORBETT, OR
503-702-7000

POST GRADING EXISTING CONDITIONS
PRE AND POST CONSTRUCTION GRADING PLAN
1525 NE CRESTVIEW LANE, CORBETT, OR

EXPIRES: 06/30/21
SIGNATURE: DATE:



2 / 4



0.7/29/2019

DATE:	NO.	REVISION	PROJECT NO. E19-029	
			SCALE: AS SHOWN	DATE: JULY 2019
			DRAWN:	CHECKED:

FDG  Firwood Design Group, LLC
SURVEYING • ENGINEERING • PLANNING

369 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
BUS: (503) 868-3737 • FAX: (503) 868-3788

RANDALL BURBACH
1525 NE CRESTVIEW LANE, CORBETT, OR
503-702-7000

CROSS SECTIONS
PRE AND POST CONSTRUCTION GRADE
1525 NE CRESTVIEW LANE, CORBELL, OR



EXPIRES: 06/30/21
SIGNATURE DATE: _____