

EROSION AND SEDIMENT CONTROL PERMIT

Case File: T1-2022-15709

Request: Erosion and Sediment Control Permit for ground disturbing activity associated with land use case #T3-2021-14962 that authorized a new Middle School, District Offices, and associated off-street parking and loading areas, landscaped areas, a stormwater drainage control system, and an on-site sewage disposal areas.

Location: **31520 E Woodard Road, Troutdale** **Map, Tax lot:** 1S4E05AB -00200
Tax Account #: R994050530 **Property ID #:** R341422

Applicant(s): Matt Alexander, Lower Columbia Engineering

Owner(s): Corbett School District

Base Zone: Rural Residential (RR)

Overlays: Significant Environmental Concern (SEC)
Significant Environmental Concern for Streams (SEC-s)

Decision: This permit is effective as of **Friday, August 12, 2022** with on-going responsibilities, obligations, and limitations.

Issued by:

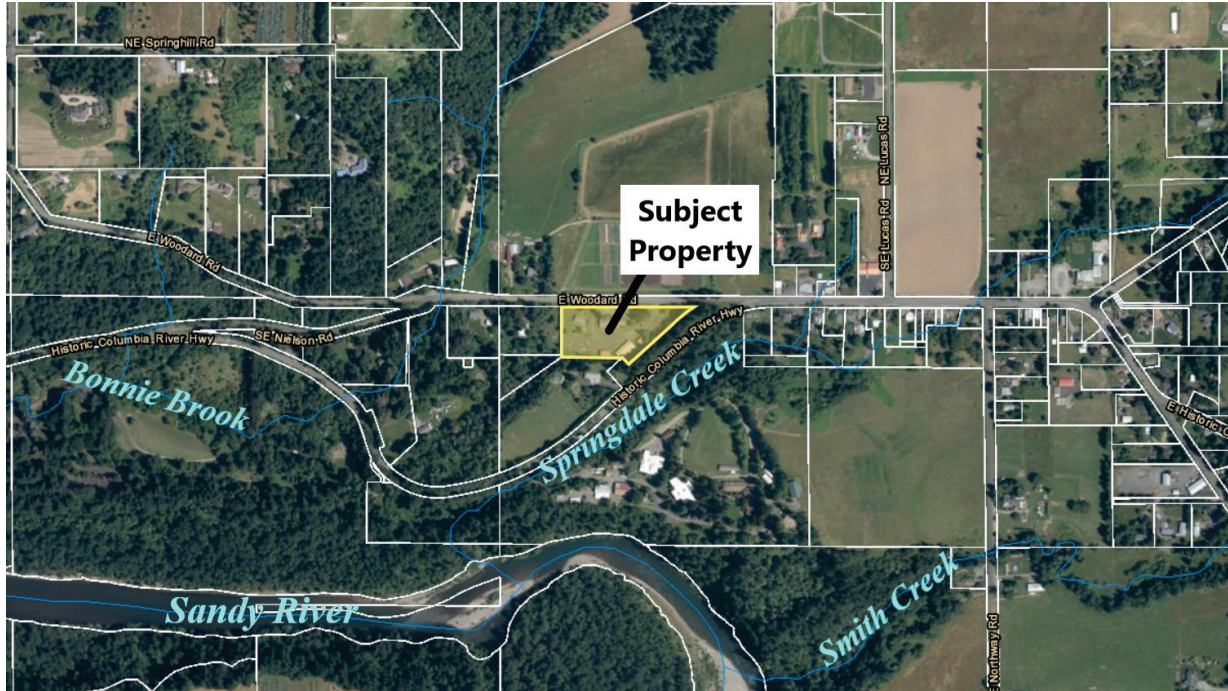
By: _____
Rithy Khut, Planner

For: Carol Johnson, AICP
Planning Director

Date: Friday, August 12, 2022 ☐

Vicinity Map

N↑



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Multnomah County Code (MCC) Chapter 39 under:

Violations, Enforcement and Fines: MCC 39.1515 Code Compliance and Applications

Rural Residential (RR): MCC 39.4370(A) Community Service Uses...

Ground Disturbing Activity and Stormwater: MCC 39.6210 Permits Required, MCC 39.6225 Erosion and Sediment Control Permit, MCC 39.6235 Stormwater Drainage Control

Copies of the referenced Multnomah County Code sections are available by contacting our office at (503) 988-3043 or by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link

Chapter 39: Multnomah County Zoning Code

ON-GOING RESPONSIBILITIES, OBLIGATIONS, MODIFICATIONS, AND LIMITATIONS:

The following requirements are necessary to ensure that proposed development complies with the Type 1 criteria for this land use permit. This permit is based on the submitted written narrative(s) and plan(s). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein. Where a restriction relates to a specific criterion, the code citation for that criterion follows in brackets.

General Requirements:

1. Permit Expiration - This land use permit shall expire as follows:
 - a. This permit shall expire on March 23, 2024 unless construction of the foundation has commenced in accordance with the timelines specified in Condition of Approval 2.a in land use case #T3-2021-14962. This permit shall expire at the same time as T3-2021-14962 pursuant to MCC 39.1183, unless the development was established according to all specifications and ongoing responsibilities and obligations. Expiration of this permit means that a new application is required for uses that are not established within the approval period. If an extension is sought for T3-2021-14962, an extension of this permit will also be necessary unless all work under this permit has been completed. [MCC 39.1183]
2. This permit authorizes the ground disturbing activities that will occur as authorized under T3-2021-14962:
 - a. Develop the subject property as a site for a middle school;
 - b. Develop the subject property as a site for a school district offices; and
 - c. Ground disturbance relating to the construction of off-street parking and loading areas, landscaped areas, a stormwater drainage control system, and on-site sewage disposal areas.
3. On-site disposal of construction debris (e.g., concrete, asphalt, wood), organic waste (e.g., cull fruit, food waste), or industrial byproducts (e.g., slag, wood waste) created through ground disturbance or construction of the middle school and other district offices is authorized under this permit. All construction debris, organic waste, or industrial byproducts shall be taken to a location off-site that is approved for the disposal of such material by applicable Federal, State, and local authorities. [MCC 39.6225(A)(2), MCC 39.6225(B)(2), and MCC 39.6225(B)(20)]
 - a. All stockpiled construction debris, organic waste, or industrial byproducts shall be covered with plastic or other Best Management Practices (BMP) until the material removed from the subject property. [MCC 39.6225(B)(11) and MCC 39.6225(B)(19)].
4. All non-erosion pollution associated with construction such as pesticides, fertilizers, petrochemicals, solid wastes, construction chemicals, or wastewaters shall be prevented from leaving the construction site through proper handling, disposal, continuous site monitoring, and clean-up activities. [MCC 39.6225(B)(20)]

Prior to any ground disturbing activities and zoning review to authorize building permits:

5. The property owner(s) or their representative(s) shall apply for Zoning Review Approval by submitting the site plan and construction details to LUP-submittals@multco.us and referencing this permit. Upon approval, the stamped site plan and construction details shall be provided to the City of Gresham: Building Permits & Inspections to obtain the required building permits. [MCC 39.4355]
6. The Erosion and Sediment Control Permit notice card included with this permit shall:
 - a. Be posted at the driveway entrance in a clearly visible location.
 - b. This notice card is to remain posted until such time as the ground disturbing work is completed. In the event the notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the applicant shall immediately contact the Land Use Planning office to obtain a replacement. [MCC 39.6210(F)(2) and MCC 39.6225(B)]
7. When ground-disturbing activities authorized by this permit are ready to commence the property owner(s) or their representative(s) shall e-mail Staff Planner, Rithy Khut at rithy.khut@multco.us to provide a start date, so that the erosion control can be inspected. Work may commence after written notice is completed and erosion control measures have been installed. The County's inspector will be visiting the project site to ensure that Best Management Practices are occurring. [MCC 39.6210(F)(2) and MCC 39.6225(B)]
8. The property owner(s) or their representative(s) shall install erosion control measures consistent with the approved erosion control plan. Flag, fence, or otherwise mark the project area as described in the Erosion Control Plan (Exhibit A.10). [MCC 39.6225(B)(13), MCC 39.6225(B)(14), and MCC 39.6225(B)(18)]

After ground disturbing activities are authorized and during construction:

9. The property owner(s) or their representative(s) shall maintain the erosion control measures consistent with the approved erosion control plan. Flag, fence, or otherwise mark the project area as described in the Erosion and Sediment Control Plan (Exhibit A.3 and Exhibit A.8). Erosion control measures shall be maintained through all phases of development. Erosion control measures are to include the installation of sediment fences/barriers at the toe of all disturbed areas and post construction re-establishment of ground cover. Placement of fencing to protect trees and other vegetation. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils. All erosion control measures are to be implemented using Best Management Practices (BMP). These measures shall remain in place and in good working order. Such flagging, fencing, and/or markings shall be maintained until construction is complete and all disturbed ground that is not development with a structure or building is revegetated. [MCC 39.6225(B)(12) through (15), MCC 39.6225(B)(18) and MCC 39.6225(B)(21)]

10. The property owner(s), their agent(s), or their representative(s) shall be limited to the following ground disturbing activities:

- a. Ground disturbance is limited to 136,400 square feet of ground disturbance, which includes no more than 1,370 cubic yards of excavation and 1,030 cubic yards of fill for the development of the site for a middle school, school district offices, off-street parking and loading areas, landscaped areas, a stormwater drainage control system, and on-site sewage disposal areas. [MCC 39.6210, MCC 39.6225(A)(2), MCC 39.6225(A)(3), and MCC 39.6225(B)(1)]
 - i. All fill brought to the subject property shall be composed of earth materials. [MCC 39.5045(A)(2), MCC 39.6225(A)(2) and MCC 39.6225(B)]
 - ii. All fill trucks shall be constructed, loaded, covered, or otherwise managed to prevent any of their load from dropping, sifting, leaking, or otherwise escaping from the vehicle. No fill shall be tracked or discharged in any manner onto any public right-of-way. [MCC 39.6225(B)(23)]
 - iii. No compensation, monetary or otherwise, shall be received by the property owner for the receipt or placement of fill. [MCC 39.6225(B)(24)]
- b. All spoil material created through ground disturbance shall be backfilled into excavated areas or shall be taken to a location off-site that is approved for the disposal of such material by applicable Federal, State, and local authorities. All spoil materials not used to backfill excavation area shall be removed from the subject property. [MCC 39.6225(A)(2) and MCC 39.6225(B)]
 - i. Stockpiled materials shall be covered with plastic or other Best Management Practices (BMP) until the material is backfilled or removed from the subject property. [MCC 39.6225(B)(11) and MCC 39.6225(B)(19)].

11. The property owner(s), their agent(s), or their representative(s) shall:

- a. Remove any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way are disturbed, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality. [MCC 39.6210(E)(1) and (2)]
- b. Seed and mulch all disturbed soils to prevent erosion and sedimentation in the channel. Monitor daily to ensure vegetation is sprouting and that no erosion or sedimentation is occurring. Monitoring may cease when vegetation on the disturbed soils have stabilized the disturbed soils. [MCC 39.6225(B)(10) and MCC 39.6225(B)(12)]
- c. Within five (5) days of finishing ground disturbance associated with each phase (example: demolition of existing structures and asphalt, excavation for foundation and footings, etc.) seed and mulch all disturbed soils for that phase of ground disturbance to prevent erosion and sedimentation. Monitor daily to ensure vegetation is sprouting and that no erosion or sedimentation is occurring. Monitoring may cease when vegetation on the disturbed soils have stabilized the disturbed soils. [MCC 39.6225(B)(10) and MCC 39.6225(B)(12)]

12. The County may supplement described erosion control techniques, if turbidity or other down slope erosion impacts results, from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects. [MCC 39.6210(F)(2)]

Follow up requirements after construction:

13. The property owner(s), their agent(s), or their representative(s) shall seed with native grasses all disturbed areas within five (5) days of the date ground disturbing activities are concluded. [MCC 39.6225(B)(12)]
14. Within five (5) days of completion of all ground disturbing activities, the property owner shall contact Rithy Khut at 503-988-0176 or via email at rithy.khut@multco.us to set up a site inspection to verify the site has been revegetated. [MCC 39.1170(A), MCC 39.1170(B), and MCC 39.5050(B)]

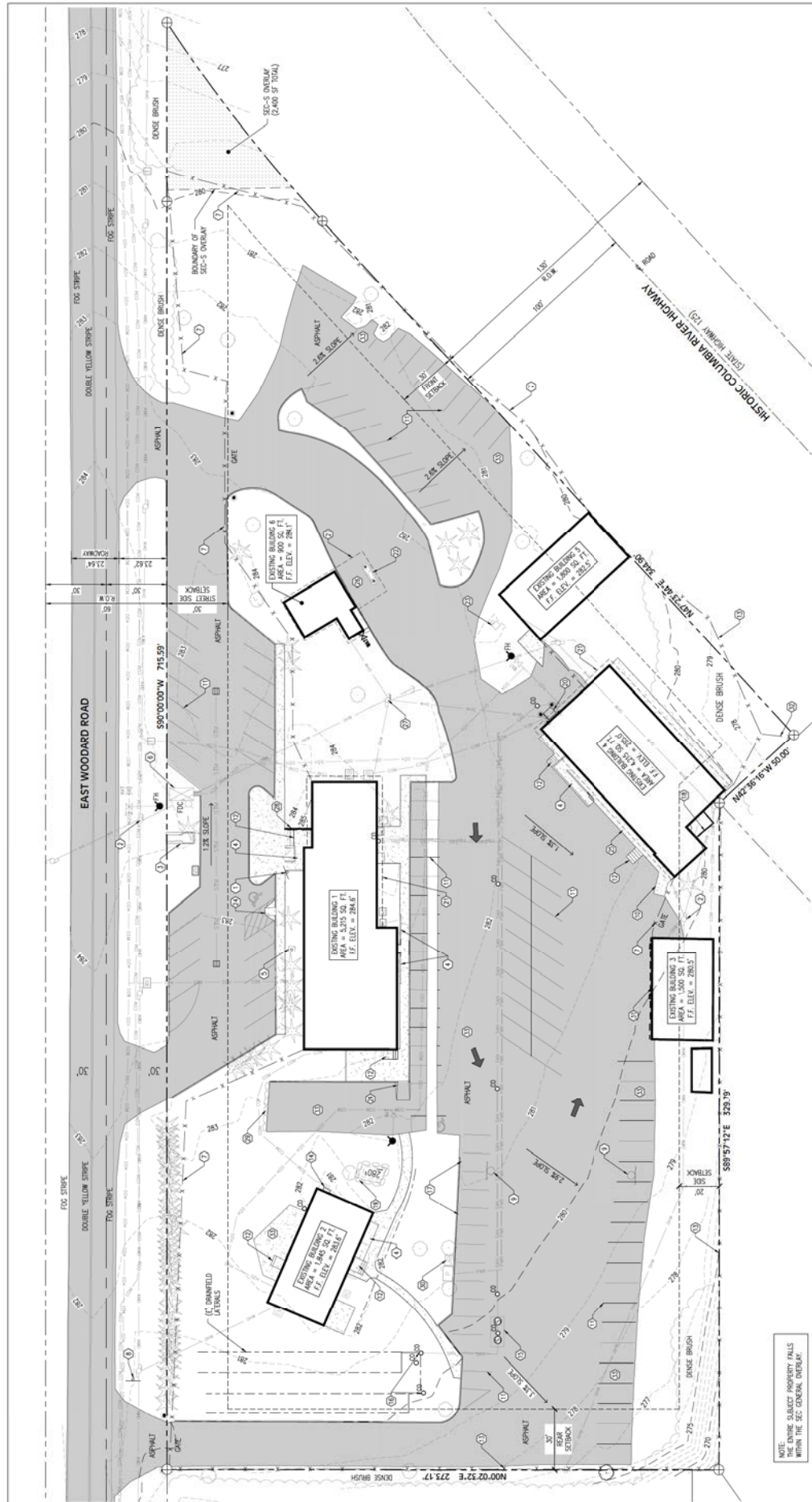
Exhibits:

- ‘A’ Applicant’s Exhibits
‘B’ Staff Exhibits
‘C’ Procedural Exhibits

Exhibits with a “*” after the exhibit # have been included and reduced to a size of 8.5” x 11” as part of the mailed decision. All other exhibits are available for review in Case File T1-2022-15709 by contacting Rithy Khut, Staff Planner at 503-988-0176 or rithy.khut@multco.us.

Exhibit #	# of Pages	Description of Exhibit	Date Received / Submitted
A.1	1	Type 1 Application Form	04/22/2022
A.2	11	Narrative	04/22/2022

A.3*	13	Site Plans (42" x 30") <ul style="list-style-type: none"> • A1.01 – Site Plan and Details • A2.01 – Main Building and Floor Plan • A2.02 – Buildings 3, 4, 5 Floor Plans • A3.01 – Main Building Exterior Elevs and Material Palette • A3.02 – Buildings 3, 4, 5 Exterior Elevations • *C1.01 – Existing Conditions Site Plan • C2.01 – Erosion and Sediment Control Plan • *C3.01 – Demolition Plan • *C4.01 – Civil Site Plan • *C5.01 – Grading and Stormwater Plan • *D1.01 – ESC Details and Notes • L1.01 – Landscape Plan • L2.01 – Landscape Specifications and Details 	04/22/2022
A.4	98	Stormwater Drainage Certificate	04/22/2022
A.5	9	Septic Review Certification	04/22/2022
A.6	2	Technical Memorandum in response to Incomplete Letter	06/13/2022
A.7	11	Revised Narrative	06/13/2022
A.8*	1	Revised C2.01 – Erosion and Sediment Control Plan	06/13/2022
A.9	60	Geotechnical Report written by George Saunders, Registered Professional Engineer and Geotechnical Engineer	06/13/2022
A.10	1	Cut/Fill Report	06/13/2022
'B'	#	Staff Exhibits	Date
B.1	2	Department of Assessment, Records and Taxation (DART): Property Information for 1S4E05AB -00200 (#R994050530)	04/22/2022
B.2	1	Department of Assessment, Records and Taxation (DART) Map with 1S4E05AB -00200 (#R994050530) Highlighted	04/22/2022
B.3	35	Land use case #T3-2021-14962	04/22/2022
'C'	#	Procedural Exhibits	Date
C.1	3	Incomplete Letter and e-mail	05/27/2022
C.2	1	Complete Letter (day 1)	06/14/2022
C.3	15	Erosion and Sediment Control Permit and Notice Card	08/12/2022



NOTE:
THE ENTIRE SUBJECT PROPERTY FALLS



EXISTING CONDITIONS SITE PLAN

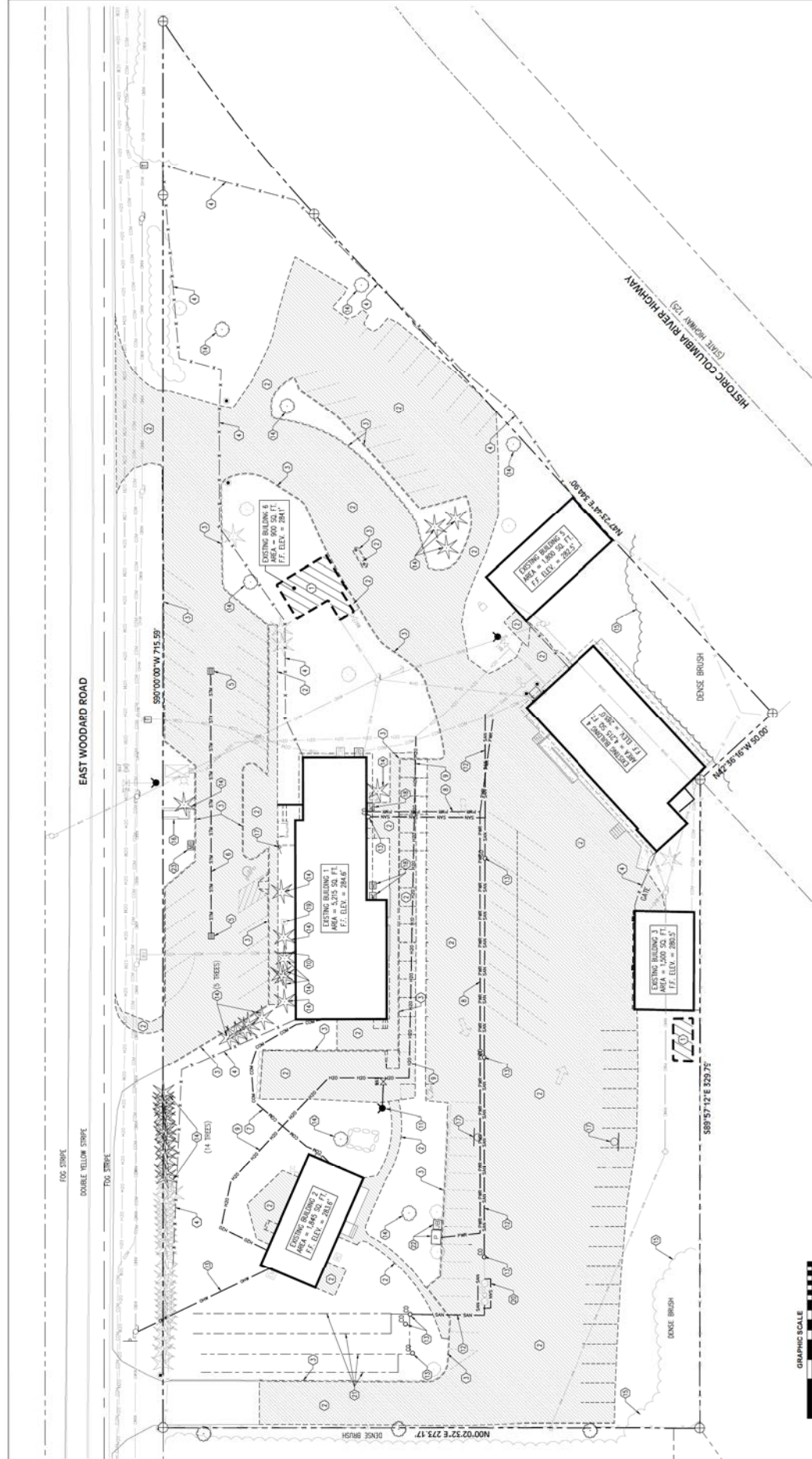
SCALE: 1" = 20'

- | EXISTING CONDITIONS KEYNOTES | |
|------------------------------|--|
| 1 | METAL SIGN WITH "HANDicap PARKING ONLY" SIGN |
| 2 | CONCRETE STAIRS WITH METAL HANDRAILS |
| 3 | 6" HIGH CYLINDRICAL FENCE |
| 4 | GAUZE SHIELD WINDOW |
| 5 | SUBSTANTIAL SANITARY SIGN VENT |
| 6 | SEWER/SEPTIC TANK ACCESS PORTALS |
| 7 | CONCRETE CURB STRIPS (TYPICAL) |
| 8 | 48" HIGH CONCRETE RETAINING WALL |
| 9 | 47" HIGH HOOD RETAINING WALL |
| 10 | ABOVE GROUND HEATING OIL TANK & BOLLARDS |
| 11 | BUILDING DRAINAGE |
| 12 | METAL HANDRAILS SUPPORT IN CONCRETE ISLAND |
| 13 | PAVED PARKING STRIPS (TYPICAL) |

- 23 SHOCKWAVE PREVENTION VAULT.
- 24 CONCRETE AIR DAMP
- 25 ELEVATED CONCRETE BULKHEAD WITH METAL WALKWAYS
- 26 OLD FUELING STATION WITH NO VISIBLE TANKS
- 27 POLE WITH LIGHT, TRANSFORMER AND METER
- 28 1" WIRE ROOF WALL WITH 6" HIGH WOOD FENCE
- 29 32" HIGH KEYSTONE BLOCK RETAINING WALL
- 30 6" HIGH ELECTRICAL PANELS
- 31 1" WIRE STORMWATER FLOOD SHIELD
- 32 4" HIGH CYCLONE FENCE
- 33 DETERMINED ASPHALT OR CONCRETE

LEGEND

- | | | |
|-----|---------------------------|--------------------------|
| 100 | EDGE OF GRAB | SUBJECT PROPERTY LINE |
| 101 | EDGE OF PAVEMENT | ADJACENT PROPERTY LINE |
| 102 | EDGE OF CONCRETE | STORM LINE |
| 103 | TOP OF PAVEMENT | SAFETY SENSER LINE |
| 104 | TOP OF CONCRETE | STREET DRANKLED LINE |
| 105 | TOP OF CURB | COMMUNICATIONS LINE |
| 106 | NEW | BURIED POWER LINE |
| 107 | CLEAN OUT | OVERHEAD POWER LINE |
| 108 | STORM SENSER MANHOLE | FENCE |
| 109 | SAFETY SENSER MANHOLE | MAJOR CONTOUR (DRAINAGE) |
| 110 | FIRE HYDRANT | MAJOR CONTOUR (NEW) |
| 111 | THE DEPARTMENT CONNECTION | MAJOR CONTOUR (NEW) |
| 112 | WATER VALVE | CONCRETE |
| 113 | UTILITY POLE | AC PAVING |
| 114 | WATER METER | related to the structure |



GRAPHIC SCALE

100

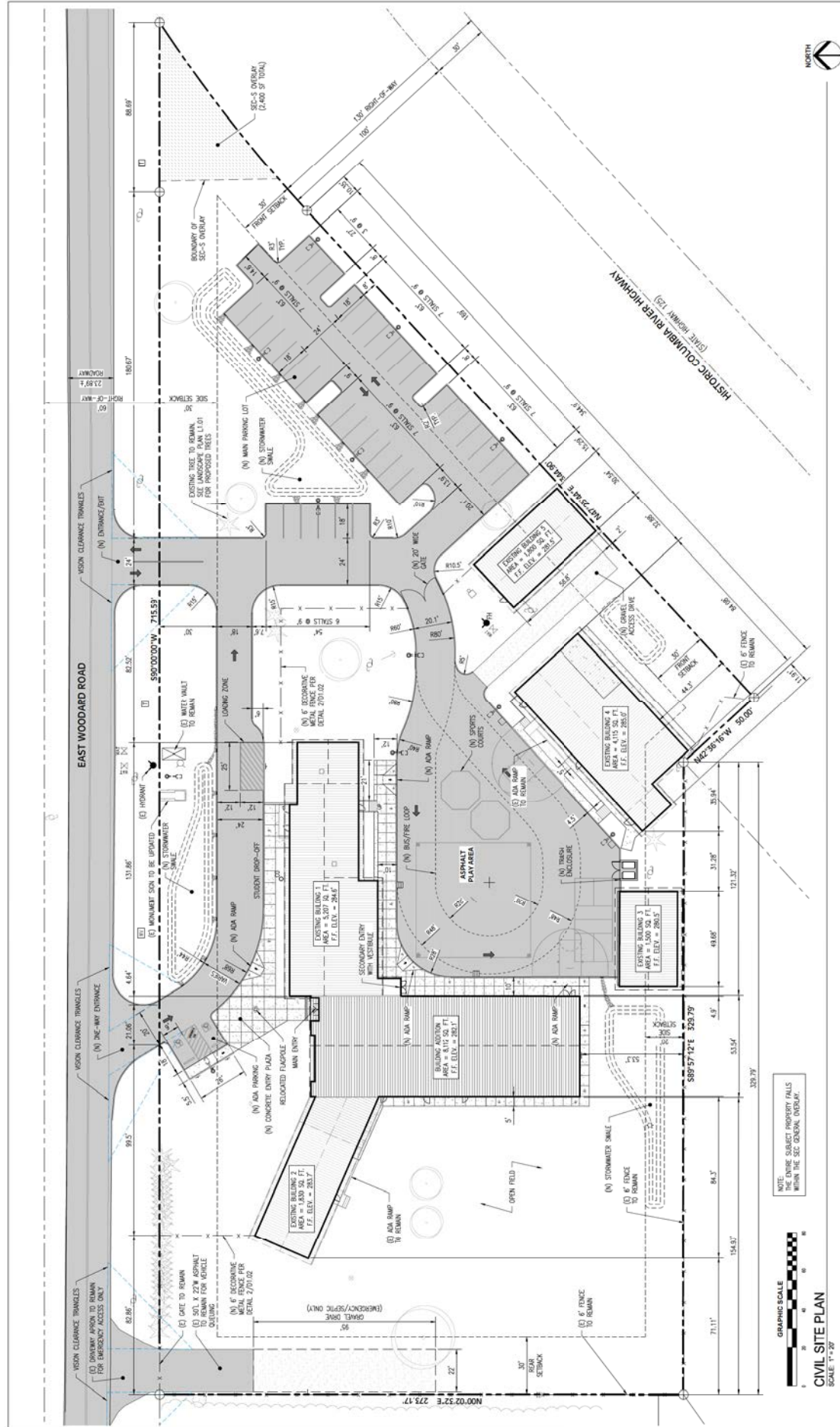
DEMOLITION

DEMOLITION KEYNOTES

- | | | | |
|----|---|----|--|
| 1 | REMOVE AND DISPOSE OF EXISTING STRUCTURES AND FOUNDATIONS, REMOVE ALL STRUCTURE FOUNDATION CONSTRUCTION MATERIALS TO A POINT SUITABLE FOR SITE AND/OR OFF SITE DISPOSAL | 10 | REMOVE AND DISPOSE OF EXISTING WATER LINE |
| 2 | REMOVE AND DISPOSE OF EXISTING CONCRETE AND FOUNDATIONS, REMOVE ALL STRUCTURE FOUNDATION CONSTRUCTION MATERIALS TO A POINT SUITABLE FOR SITE AND/OR OFF SITE DISPOSAL | 11 | REMOVE AND DISPOSE OF EXISTING HYDRANT |
| 3 | DEMOLISH AND DISPOSE OF EXISTING CONCRETE AND ASPHALT SIDEWALKS, FRAGMENT, GRAVEL, PAVES AND SIMILAR SITE FEATURES WITH SHARPS DIRECTION ZONES. | 12 | ABANDON EXISTING SANITARY SEWER LINE, REMOVE PORTIONS OF LINE IN CONFLICT WITH NEW CONSTRUCTION, WELD REMOVAL TERMINATES, PLUS END OF ABANDONED PIPE |
| 4 | REMOVE AND DISPOSE OF EXISTING CURBING | 13 | REMOVE EXISTING SANITARY OR STORM CLEAFOUT |
| 5 | REMOVE AND DISPOSE OF EXISTING CHALK LINE, POSTS AND FOUNDINGS. | 14 | REMOVE EXISTING SANITARY |
| 6 | REMOVE AND DISPOSE OF EXISTING STORMWATER CATCH BASIN | 15 | REMOVE EXISTING SANITARY |
| 7 | ABANDON EXISTING STORM SEWER PIPE, REMOVE LINES IN CONFLICT WITH NEW CONSTRUCTION, WELD REMOVAL TERMINATES, PLUS END OF ABANDONED PIPE | 16 | REMOVE EXISTING SHEDS/BUSH |
| 8 | REMOVE AND DISPOSE OF EXISTING COMMUNICATING LINE | 17 | REMOVE EXISTING SHEDS/BUSH |
| 9 | REMOVE AND DISPOSE OF EXISTING POWER LINE | 18 | REMOVE AND DISPOSE OF EXISTING SON, SON PIPE AND FOOTING. |
| 10 | ABANDON EXISTING WATER LINE, REMOVE LINES IN CONFLICT WITH NEW CONSTRUCTION | 19 | REMOVE AND DISPOSE OF EXISTING HANG LINE |
| | | 20 | REMOVE AND DISPOSE OF EXISTING DRAINAGE PILE |

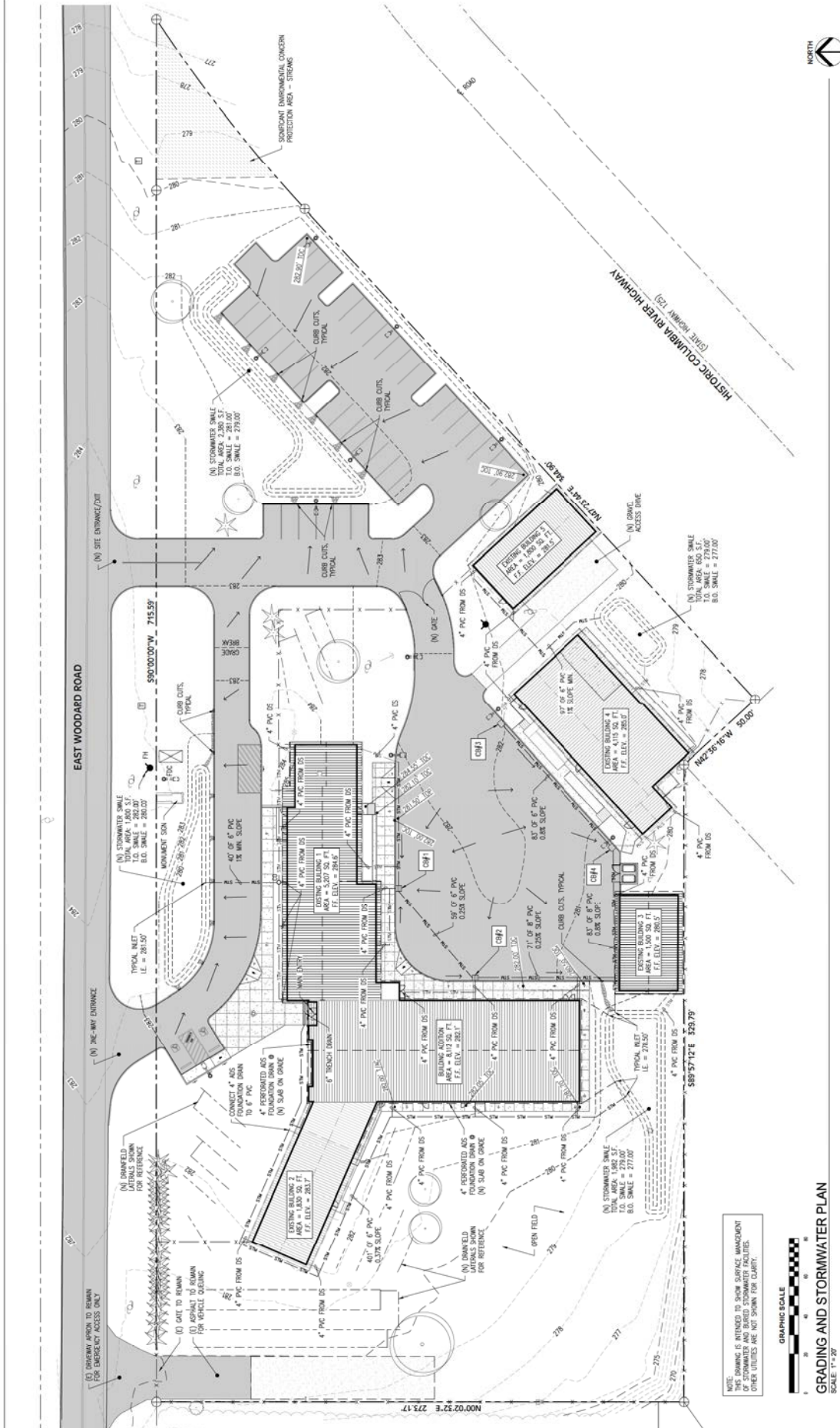
LEGEND

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AREA CALCULATIONS		
GROSS LOT AREA	152,675 SF	(100)
MINUS (LESS) FOOTPRINT:		
MAIN BUILDING ROOF AREA	13,359 SF	(9)
MAIN BUILDING ROOF AREA	16,884 SF	(11)
BUILDING 3 ROOF AREA	1,500 SF	(1)
BUILDING 3 ROOF AREA	1,886 SF	(1)
BUILDING 4 FOOTPRINT	4,160 SF	(2)
BUILDING 4 ROOF AREA	4,815 SF	(3)
BUILDING 5 FOOTPRINT	1,860 SF	(1)
BUILDING 5 ROOF AREA	2,260 SF	(1)
TOTAL BUILDING FOOTPRINT:	22,659 SF	(15)
100% ROOF AREA	23,718 SF	(16)
50% ROOF AREA	11,859 SF	(8)
50% UNPAVED AREA	38,143 SF	(25)

LOC	EDGE OF GRAVEL	SUBJECT PROPERTY LINE	CONCRETE
TOP	EDGE OF PAVEMENT	ADJACENT PROPERTY LINE	AC FINISHING TO BE REMOVED
LOC	EDGE OF CONCRETE	STORM LINE	
TOP	TOP OF PAVEMENT	SEWERY SINKER LINE	
LOC	TOP OF CONCRETE	SEPTIC DISCHARGE LINE	
TOP	TOP OF CURB	COMMUNICATIONS LINE	
LOC	TOP OF DRIVE	BURIED POWER LINE	
LOC	SEWER	OVERHEAD POWER LINE	
LOC	CLEAN OUT	FENCE	
LOC	STORM SINKER MANHOLE	MAJOR CONTOUR (EXISTING)	
LOC	STORM SINKER MANHOLE	MAJOR CONTOUR (PROPOSED)	
LOC	FIRE HYDRANT	MAJOR CONTOUR (NEW)	
LOC	FIRE DEPARTMENT CONNECTION	MAJOR CONTOUR (NEW)	
LOC	WATER VALVE	CONCRETE	
LOC	UTILITY POLE		
LOC	WATER METER		
LOC	TELLO DISPOSABLE		



LEGEND

---	SUBJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	FOUNDATION DRAIN LINE
---	SEPTIC SHANFIELD LINE
---	WATER LINE
---	COMMUNICATIONS LINE
---	BURIED POWER LINE
---	EXISTING POWER LINE
---	EXISTING FENCE
---	MAJOR CONTOUR (EXISTING)
---	MAJOR CONTOUR (NEW)
---	MAJOR CONTOUR (NEW)
---	CONCRETE
---	AC FINISH
---	PAVING TO BE REMOVED

CATCH BASIN SCHEDULE

CB#	RM ELEVATION	CATCH BASIN I.E.	4" PVC IN (N) I.E.	4" PVC OUT (S) I.E.
CB#1	= 281.00'	= 278.00'	= 279.20'	= 279.00'
CB#2	= 281.00'	= 278.00'	= 279.20'	= 279.00'
CB#3	= 281.00'	= 278.00'	= 279.20'	= 279.00'
CB#4	= 281.00'	= 278.00'	= 279.20'	= 279.00'

PRIVATE STORMWATER SUMMARY

CONTRACTOR SHALL VERIFY ALL QUANTITIES

SIZE	QUANTITY	MATERIAL
4"	517 LINEAR FEET	PVC STORM
6"	653 LINEAR FEET	PVC STORM
8"	150 LINEAR FEET	PVC STORM

*CONTRACTOR MAY SUBSTITUTE A LARGER PIPE WHEN SPECIFIED.

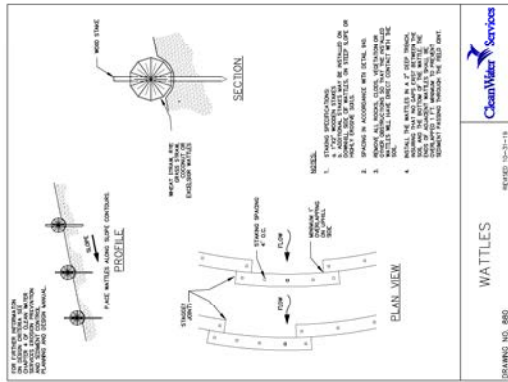
NOTE: THE STORMWATER MANAGEMENT PLAN IS BASED ON THE ASSUMPTIONS OF STORMWATER AND BASED STORMWATER FACILITIES. OTHER UTILITIES ARE NOT SHOWN FOR CLARITY.

GRAPHIC SCALE

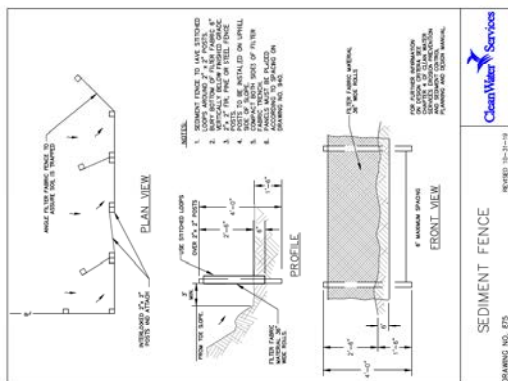
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GRADING AND STORMWATER PLAN

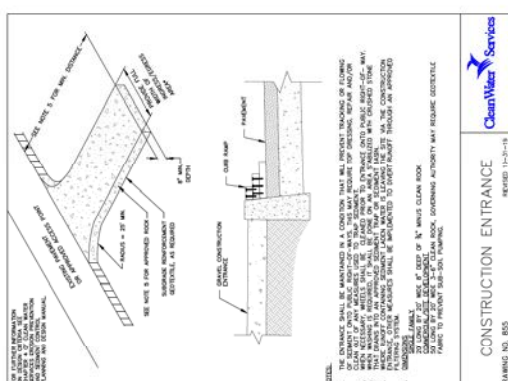
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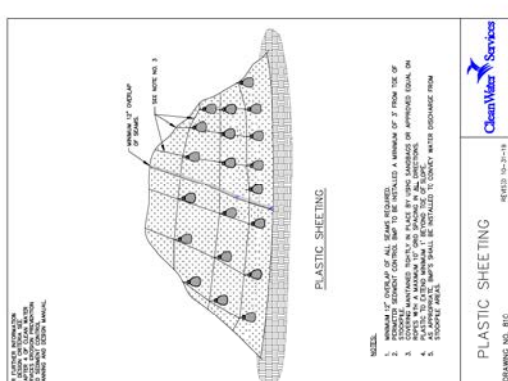
DRAWING NO. 882
WATTLES
REVISED 10-21-19
CleanWater Services



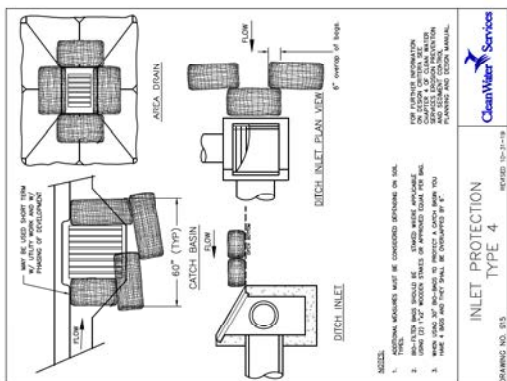
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SEDIMENT FENCE
REVISED 10-21-19
CleanWater Services



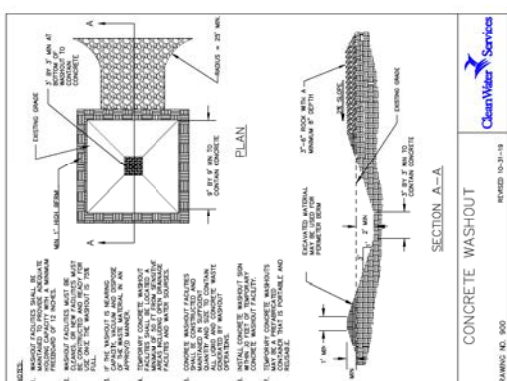
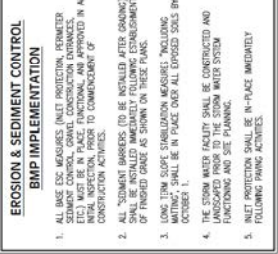
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CONSTRUCTION ENTRANCE
REVISED 10-21-19
CleanWater Services



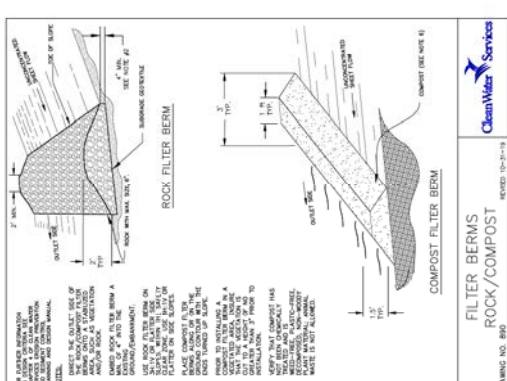
DRAWING NO. 881
PLASTIC SHEETING
REVISED 10-21-19
CleanWater Services



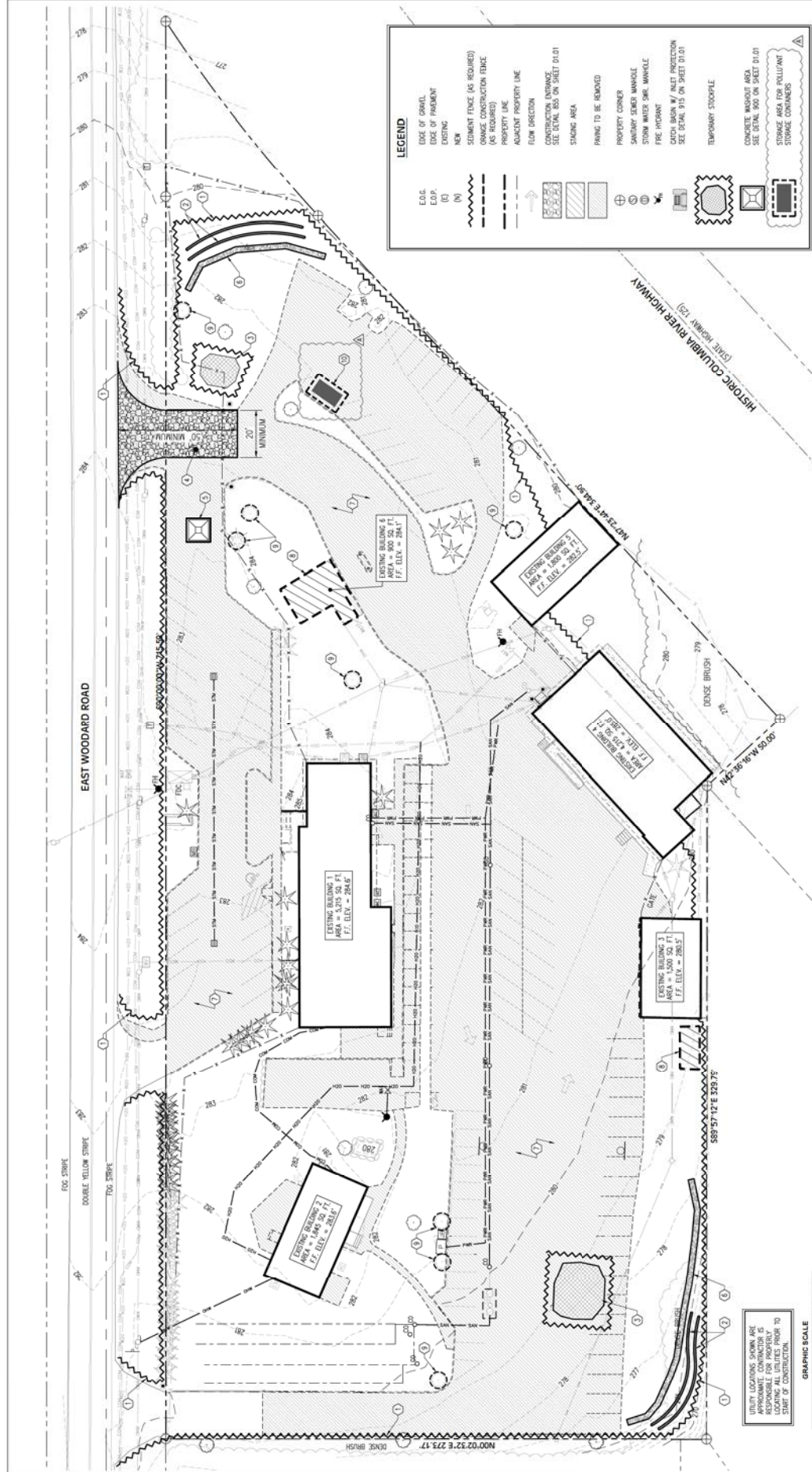
DRAWING NO. 813
INLET PROTECTION TYPE 4
REVISED 10-21-19
CleanWater Services



DRAWING NO. 900
CONCRETE WASHOUT
REVISED 10-21-19
CleanWater Services



DRAWING NO. 890
ROCK FILTER BERM
REVISED 10-21-19
CleanWater Services



EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 20'

EROSION CONTROL NOTES

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EROSION AND SEDIMENT CONTROL
BMP IMPLEMENTATION:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. THE "STAGING" SHALL BE MOVED TO AN APPROPRIATE LOCATION TO ACCOMMODATE IMPROVEMENTS.
3. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING

CALCULATIONS

AREA DISTURBED = 136,400 SQFT
CUT VOLUME = 1,370 CYD
FILL VOLUME = 1,250 CYD

GENERAL NOTES

1. DO NOT DISTURB A LARGE AREA THAT CAN BE FURNISHED THE END OF EACH WORK DAY.
2. SOIL EXPOSURE SHALL BE MINIMIZED BY COVERING WITH STRAW, EROSION MATTING OR MULCHING. DUST PROOFING SURFACES SHALL BE SPRINKLED TO CONTROL DUST. RESEED DISTURBED AREAS WITH NATIVE SOIL SEEDS.
3. LIMIT CONSTRUCTION ACCESS TO A SERIES OF ROUTES AS PRACTICALLY POSSIBLE. MINIMIZE TRUCKING OF SOILS AND DEBRIS AND ROADWAY.
4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ANY MATERIAL THAT ACCUMULATES ON ADJACENT PROPERTIES.
5. NECESSARY DESIGN AND SURVEYING CONTROL MEASURES SHALL BE REMOVED ONCE CONSTRUCTION AREA IS STABILIZED OR AS DIRECTED BY THE LOCAL WATER AGENCY.
6. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPERTY DRAINAGE. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR.

EROSION CONTROL KEYNOTES

- INSTALL CONCRETE FINISH AT THE PERIMETER OF THE DECKSLAB AND
DRAINING AREAS. SEE DETAIL #7 ON SHEET D101.
- PROVIDE STAIN MITRES ALONG CHANGE LINES AND SLOPED AREAS PER
DETAIL #66 ON SHEET D101.
- REMOVE SLAB, SCOOP OUT AND REMOVE EXISTING POLYMER FLOOR PLASTER.
REINFORCE WITH 8# REBAR @ 12" O.C. PROVIDE 1" MIN. THICKNESS OF
SLOPED FINISH AROUND SOALS TOOPIQUES FOR DETAIL #75 ON SHEET
D101.
- PROVIDE TEMPORARY CONSTRUCTION INFILL PER DETAIL #65 ON SHEET
D101. VERIFY LOCATION IN FIELD.
- PROVIDE CONCRETE ABOUTMENT R/W PER DETAIL #90 ON SHEET D101.
- PROVIDE ROCK/COMPOST FILTER BEDS PER DETAIL #89 ON SHEET D101.
- EXTEND AS PAVING IS TO BE REDUCED PER DECKSLAB PLAN SEE SHEET
C101.
- EXISTING BULK PILING TO BE REMOVED PER FOUNDATION PLAN SEE SHEET F101.

A 9
EXHIBIT