



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043
Fax: 503-988-3389
multco.us/landuse

NSA
EXPEDITED
RESIDENTIAL
APPLICATION

07/12/2017 9:25AM 000001 #7150

0001 GLORIA

PERMITS-TYPE 2 \$175.00
NOTICE/TPR \$159.00
OR CARD \$334.00

PROPERTY

Address 31710 NE WAND RD, TROUTDALE Site Size 2.00 acres

PROPOSED DEVELOPMENT (check all that apply)

- ☒ Addition or covered deck: Size 183 (200 sf max) Height 15.5 ft
Existing Floor Area 3,024 1/2 (500 sf min) Existing Height 22.5 ft (greater than proposed)
- ☐ Accessory structure: Size _____ (60 to 200 sf) Height _____ ft (10 ft max)
- ☒ Uncovered, attached deck: Size 42.75 (500 sf max) Height 30" or less inches (30" max)
- ☐ Demolition: Structure Type _____ Age _____ (less than 50 yrs)
- ☐ Rail, solid, or semi-solid fence: Height _____ ft (6' max) Length _____ (100' max)
- ☐ Wire strand fence: Height _____ ft (greater than 4') Length _____ (greater than 500')
- ☐ Woven wire fence: Agricultural enclosure only Area fenced _____ (80 ac max)
- ☐ Pave existing dirt/gravel road: All work to occur within existing road prism
- ☐ Decommission non-paved road: Includes ripping road surface, barriers, revegetation
- ☐ Retaining wall: Height _____ ft (2' max exposed surface) Length _____ (100' max)
- ☒ Outdoor lights: one exterior light at new mandoor (hooded & dark sky compliant)
- ☒ Other: Replace windows & add windows to rear of house.

APPLICANT

Name Jim Greenslade Phone 503 849-2127
Mailing Address 31710 NE Wand rd Fax _____
City Troutdale State OR Zipcode 97060 E-mail jim.greenslade@oeg.us.com

OWNER

Name Jim Greenslade Phone 503 849-2127
Street Address 31710 NE Wand rd City Troutdale State OR Zipcode 97060

I authorize the applicant to make this application.

Property Owner Signature

NOTE: By signing this form, the property owner or property owner's agent is granting permission for Planning Staff to conduct site inspections on the property.

☐ If no owner signature above, a letter of authorization from the owner is required.

For Staff Use

504961

CASE

NUMBER

12-2017-8099

State ID #

1N4E32A-01800

Alt Acct. #

R053503700

DATE
SUBMITTED

7.12.17

ZONING

GGR-10

MCC CITATION
(For Qualifying Use)

Related Case No

Open UR/ZV

By: ZE

Instructions for applicants:

The checklist below asks you to confirm facts or conditions related to your property and your proposal. The numbered paragraphs in bold represent code requirements or criteria for development in the National Scenic Area (NSA). Those criteria are addressed when you check a box below each numbered paragraph. By checking a box, you are confirming that the corresponding statement applies to your project. Staff concurrence is indicated by initials in the boxes along the right column of this form. Please ensure that you check a box under every numbered paragraph or staff will not be able to process this application under the Expedited Review Process. The NSA Handout #4: Expedited Development Review Process that accompanies this form explains each of the criteria.

Scenic Resources

- 1. In the General Management Area, the scenic resource protection criteria shall not apply to woven-wire fences for agricultural use that would enclose 80 acres or less.**

Staff initial:

La

- ☐ This application includes new woven-wire fencing on property that is within the General Management Area (i.e. it is in a zone district that begins with "GG") and the fencing is for agricultural use and encloses an area that is less than 80 acres in size. *The scenic resource criteria do not apply to the new woven wire fence.*

[Proceed to the Recreational Resource criteria (page 4) if this application is only for fencing. Otherwise, respond to the remaining scenic criteria for other uses or development that are eligible for expedited review.]

- ☒ This application is not for new woven wire fencing: *The scenic resources criteria are applicable.*

- 2. The colors of structures topographically visible from key viewing areas shall be dark earth-tones found at the specific site or the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval. This guideline shall not apply to additions, which may match the color of existing buildings.**

Staff initial:

The application is for an addition to or modification of an existing structure, or placement of a new structure that is not topographically visible from a Key Viewing Area (KVA). ☒ The KVA(s) the structure is visible from are none Larch Mountain Rd. The attached site plan illustrates how the structure is topographically screened from these KVA(s). *This criterion has been met.*

*See NSA
Handout #4:
Expedited
Development
Review
Process, for
list of KVAs*

Note to applicant: Show on the site plan the location of the terrain feature or landform that screens the structure with arrows identifying the vantage point from which the site is viewed from the KVA(s).

Attach plan

The application is for an addition. As shown in the attached color chip and site photograph, the addition will match the color of the existing buildings. *This criterion has been met.*

*Attach color
chip & photo
of existing
building*

- ☒ The application is for an addition to or modification of an existing structure, or placement of a new structure that is topographically visible from one or more key viewing areas. As shown in the attached color chip and site photograph, the proposed addition will be dark earth tones that are found at the site or surrounding landscape. *This criterion has been met.*

Attach color
chip(s) &
photo(s) of
structure &
surrounding
landscape

Staff initial:

LE

3. Structures topographically visible from key viewing areas shall use low or non-reflective building materials, including roofing, gutters, vents, and chimneys.

The application does not involve a structure that is topographically visible from a key viewing area. *This criterion has been met.*

Attach
building
material
samples

Staff initial:

4. Outdoor lights shall be directed downward and sited, hooded, and shielded such that they are not highly visible from key viewing areas. Shielding and hooding materials shall be composed of non-reflective, opaque materials.

☒ The application does not include outdoor lights. *This criterion is not applicable.*

- ☒ The application includes outdoor lights. As shown in the attached specification sheet, the proposed lights will be hooded and shielded and are composed of non-reflective, opaque materials. A site plan and/or elevation drawings shows the location of the lighting. Based on these drawings the lighting will not be highly visible from key viewing areas. *This criterion has been met.*

Attach spec
sheet here

Staff initial:

LE

5. Structures within 1/2-mile of a key viewing area and topographically visible from the key viewing area shall be sited, screened and/or designed to achieve the applicable scenic standard (e.g., visual subordination, not visually evident).

☒ The application does not involve a structure that is within 1/2-mile of and topographically visible from a key viewing area. *This criterion is not applicable.*

- ☐ The application includes structure(s) that are within 1/2-mile of and topographically visible from (a) key viewing area(s). As shown on the attached site plan, and exterior architectural elevations or rendered photo, the proposed structure(s) will be sited, screened, and/or designed so that it achieves the standard of: ☐ visual subordination, or ☐ not visually evident

Attach
elevations or
photo of
structure

Explain how standard is achieved.

See NSA
Handout #5:
Designing
for Approval

This criterion has been met.

Recreation Resources

6. The development shall not detract from the use and enjoyment of established recreation sites on adjacent parcels.

Staff initial:

LE

- ☒ The attached site plan labels the uses on adjacent parcels. There is no established recreation site on an adjacent parcel. *This criterion is not applicable.*
- ☐ The attached site plan labels show that the property is adjacent to at least one established recreation site, but does not detract from the use and enjoyment of the site. The proposed development will not generate noise, dust, or odors at levels significant enough to impact the use. Also, the site plan shows that the proposed development would not interfere with access to the adjacent recreation site(s). *This criterion has been met.*

Label adjacent uses on attached site plan

Cultural Resources

7. The expedited development review process shall only be used to review proposed development that does not require a reconnaissance survey or historic survey.

Staff initial:

LE

Note to applicant: If an Indian tribe sends a letter in response to the application indicating that the proposal affects a treaty right or cultural resource, then the application can not be reviewed using the expedited development review process.

Reconnaissance Survey

Proposed development does not require a reconnaissance survey if it meets any of the following (check at least one that applies):

- ☒ Is limited to the modification, expansion, replacement, or reconstruction of existing buildings and structures.
- ☐ Will not disturb the ground (e.g. storage shed without a foundation)
- ☐ Occurs on a site that was previously disturbed by human activities where the depth and extent of the grading does not exceed prior ground disturbance.
- ☒ Involves minor ground disturbance, as defined by depth and extent (e.g. fence construction, footings for a deck, etc.)

Show area and type of disturbance on plan

Width 10' x Length 20' x Depth 18"

Note to applicant: The project will not qualify for expedited review if the Gorge Commission disagrees that the activity results in minor disturbance.

- ☐ Occurs on a site that has been adequately surveyed in the past, or has been identified by the Gorge Commission, USFS Archaeologist, or private archaeologist as having a low probability of containing cultural resources.

Attach survey

This criterion has been met.

Historic Survey

A historic survey is not required for the following activities (check at least one):

☐ There are no structures 50 years old or older on the property.

☒ There is/are structures 50 years old or older; however, the application does not alter the structure(s), nor does it compromise features of the surrounding area that help define the historic character of the structure(s).

This criterion has been met.

Natural Resources

Staff initial:

LE

Show rights-of-way or easement boundary on site plan

8. The development is outside buffer zones for wetlands, streams, rivers, ponds, and lakes. This guideline shall not apply to development located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained.

☐ The proposal is for development located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained. *This criterion is not applicable.*

☒ As shown on the attached site plan, proposed development is outside buffer zones for wetlands, streams, rivers, ponds, and lakes. *The criterion has been met.*

9. The development will not adversely impact sensitive wildlife or plant species or is at least 1,000 feet from known sensitive wildlife areas or sites (excluding sensitive aquatic species, deer winter range, and turkey habitat) and known sensitive plants. This guideline shall not apply to development that does not disturb the ground or is located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained.

Staff initial:

LE

☒ As shown on the attached site plan and confirmed by planning staff, the proposed development is over 1,000 feet from known sensitive wildlife areas or sites (excluding sensitive aquatic species, deer winter range, and turkey habitat) and known sensitive plants. *This criterion has been met.*

☐ The proposed development does not disturb the ground or is inside road, utility or railroad rights-of-way or easements or other areas that have been previously disturbed and regularly maintained. *This criterion is not applicable.*

☐ Although proposed development is within 1,000 feet of a known sensitive wildlife area or site, the Oregon Department of Fish and Wildlife (for GMA lands) or U.S. Forest Service (SMA lands) has determined that the area or site is not active, that development will not compromise the integrity of the wildlife area or site, or that development will not occur during a time of year that the wildlife species are sensitive to disturbance.

See land use staff for agency contacts

☐ Although proposed development is within 1,000 feet of known sensitive plants, a representative of the Oregon Natural Heritage Program or an expert in botany or plant ecology has determined that development will not occur within 200 feet of a sensitive plant species.

Attach agency confirmation

NOTICE OF PRELIMINARY DECISION

In accepting this application for expedited review, the Planning Director is granting preliminary approval of the development. The Gorge Commission, U.S. Forest Service, Indian tribal governments, and property owners within 750 feet of the subject tract will be given 14 days to provide comments. If no comments are received, the decision shall become final at the close of business on the 14th day. If substantive written comments are submitted, the Planning Director will either modify the decision to address the comments and re-issue it for a 14-day appeal period or re-direct the application to full review if comments establish that the proposed development is not eligible for expedited review.

Comments must be directed to the applicable approval criteria. Those in **bold** above are listed in MCC 38.7100 of the County code. Failure to provide comments during the comment period will preclude a right to appeal.

Conditions/Limitations of Approval

1. If, during construction, cultural or historic resources are discovered, the applicant/owner shall immediately cease development activities and inform the Multnomah County Land Use Planning Division, Columbia River Gorge Commission, and the U.S. Forest Service of any discovery pursuant to MCC 38.7045(L) & (M), or MCC 38.7050(H) as applicable. Once halted, construction activities shall not resume until these standards have been satisfied.
2. Approval of this land use permit is based upon the statements made in this application and attached materials. No work shall occur under this permit other than that which is specified in these documents.
3. Development of structures must be commenced within 2 years of the date of this decision, and completed within 2 years of the date of commencement. The property owner may request an extension of either of these timeframes, as provided in MCC 38.0700. Such a request must be made prior to expiration of the permit.

This decision is final at the close of the comment period unless comments are received. If no comments are received, the effective date of the decision is August 7, 2017 @ 4 pm

FOR STAFF USE

At close of the comment period (check one that applies):

- ☐ No substantive written comments were received. The decision is final.
- ☐ Substantive written comments were received. The Planning Director will issue a letter addressing the comments and may modify this preliminary decision.
- ☐ Written comments were submitted showing that the proposed development is not eligible for expedited review. The project will be reviewed using the full development review process.

Staff initial: _____

Date: _____

Any comments received are included in the County records for this application.

- ☐ Fill out NSA DR Database Form for Gorge Commission and include copy with file.

Camille

8:00 am


**MULTNOMAH COUNTY, OREGON
PROPERTY RECORDS**

Property Information

Property
InformationTax
SummaryAssessment
HistoryImprovement
InformationNew
SearchSearch
ResultsPrintable
Summary

Logoff

Search Results for R111649[Pay Now](#)**Owner Name**GREENSLADE, JAMES M &
GREENSLADE, CAMILLE R**Property ID Number**

R111649

Owner Address31710 NE WAND RD
TROUTDALE, OR 97060-9343**Situs Address**31710 NE WAND RD
TROUTDALE, OR 97060**Alternate Account Number**

R053503700

Neighborhood

R020

Map Tax Lot

1N4E32A -01800

Levy Code Area - Taxing Districts

358

Portland Maps[Click to Open Map](#)**Information on Ordering Copies**[Click to Open Order Form](#)**Property Description****Exemption****Expiration Date****Tax Roll Description****Map Number**

BANNER AC, S 145' OF LOT 36 EXC PT IN ST 321N4E 1N4E32A -01800

Parcel**Account Status**

A - Active

Property Use

B - RESIDENTIAL IMPROVED

Year Built Acreage

1968

Related Accounts**Linked Accounts****Split/Merge Account****Split/Merge Account Message**

Special Account Information

NSA 6-94

Sales Information

Deed	Grantor (Seller)	Grantee (Buyer)	Instrument	Date	Consideration Amount
DENT	GREENSLADE, JAMES M	GREENSLADE, JAMES M &	<u>2016135883</u>	10/28/16	\$0
WD	TOWSLEY, MARY	GREENSLADE, JAMES M	BP19182228	07/08/86	\$68,000

2017 Land Information (Unedited and Uncertified)

ID	Type	Acres	Sq Ft
L1	RES - RESIDENTIAL LAND	2.00	87120

INFORMATION SUBJECT TO DISCLAIMER - SEE [HOME PAGE](#)© 2017 [Tyler Technologies, Inc.](#) - The Software Group Division



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
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FIRE SERVICE AGENCY REVIEW

TO THE APPLICANT: Take this form to the Structural Fire Service Provider* that serves your property along with the following:

- ☐ A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- ☐ A floor plan of the proposed development; and
- ☐ A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers]

After the fire official signs this form, include it with your application material. See Fire Code Application Guide for fire-related access standards and fire flow information.

*If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

Address of Site 31710 NE Wand rd Troutdale OR 97060

Map & Tax Lot: Banner Acres 'R' number Lot 36

Description of Proposed Use: _____

Total Square Footage of Building (including roof projections, eaves & attached structures): 1,600 sq ft

Applicant Name: Jim Greenslade Phone: 503 849-2127

Mailing Address: 31710 NE Wand rd

City: Troutdale State: OR Zip Code: 97060 Email: jim.greenslade@deg.us.com

STRUCTURAL FIRE SERVICE AGENCY REVIEW

Fire Agency completing this form: Fire District # Date of Review 7-9-17

- ☒ The subject property is located within our service boundaries or is under contract.
- ☐ The subject property is outside of our service boundaries and will not be providing fire protection services via contract. (Additional review is not needed.)

** Access Review by Structural Fire Service Agency Providing Service **

- ☒ The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our agency.
- ☐ The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our agency before flammable materials are placed on the property.

- ☐ The proposed development is **not** in compliance with the adopted Fire Service Agency's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.

Fire Official: Please sign or stamp the presented site plan & floor plan and attach it to this form.

ADZO Fire Chief
Signature & Title of Fire Official

See Other Side

STRUCTURAL FIRE SERVICE AGENCY REVIEW, CONTINUED.

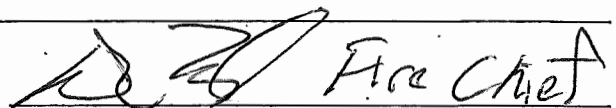
**** Fire Flow by Structural Fire Service Agency Providing Service ****

- ☐ The structure, building or addition is exempt from the fire flow standards of the OFC B-105.2.
- ☒ The proposed non-commercial structure is **less than 3,600 sq. ft.** (including the horizontal projections of the roof) and there is 1,000 gallons per minute of fire-flow available at 20 psi from public water lines. No mitigation measures are necessary.
- ☐ The proposed non-commercial structure is **more than 3,600 sq. ft.** (including the horizontal projections of the roof) and the fire-flow & flow duration at 20 psi is available from public water lines or private well and is in compliance with minimums specified in Appendix B, Table B105.1 of the Oregon Fire Code. No mitigation measures are necessary.
- ☐ The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with Appendix B of the Oregon Fire Code. The following mitigation measures are necessary* and must be installed prior to occupancy or use of the structure.
- ☐ A monitored fire alarm must be installed
 - ☐ A Class A or non-combustible roof materials must be installed.
 - ☐ Defensible space of 30 feet around the structure/building/addition.
 - ☐ A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20 %.
 - ☐ A fire sprinkler system meeting Section 903.1.3 (NFPA13D) of the Oregon Fire Code shall be installed.
 - ☐ Other _____

*The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

Commercial/Industrial Buildings & Uses.

- ☐ The minimum fire flow and flow duration is available from public water lines or private well as specified in Appendix B, Table B105.1. No mitigation measures are required.
- ☐ The minimum fire flow & flow duration is not available from public water lines or private well as specified in Appendix B, Table B105.1. The following mitigation measures are required:
- _____
- _____

 Fire Chief

Signature & Title of Fire Official

To the Fire Official:

☐ Land Use Planning has determined that the proposed building will qualify as an Exempt Farm Structure and the property owner has indicated that the building will be used solely for farm purposes and they intend on using the provision under ORS 455.315 and will not be obtaining a building permit for its construction.

Multnomah County Land Use Planning



Z:\GREENSLADE\A0.0_GREENSLADE_COVER_SHEET.dwg, 9/14/2016 11:15:56 AM

PROJECT SUMMARY

FOR A RANCH STYLE HOUSE WITH A DAYLIGHT BASEMENT, THE SCOPE OF WORK IS LIMITED TO A MAIN LEVEL BUILDING ADDITION AND MAIN LEVEL INTERIOR ALTERATIONS PLUS WINDOW AND SIDING REPLACEMENT FOR THE ENTIRE HOUSE

183 SQ. FT. ADDITION FOR A NEW LAUNDRY ROOM AND MUD ROOM
INTERIOR ALTERATIONS AT EXISTING KITCHEN, LIVING, AND ENTRY

PROJECT TEAM

OWNERS

JIM AND CAMILLE GREENSLADE
31710 NE WAND RD.
TROUTDALE, OREGON 97060
CONTACT: JIM GREENSLADE
TEL.: 503.849.2127

DESIGNER

C2 DESIGN
1332 SE 44TH AVE.
PORTLAND, OREGON 97215
CONTACT: CHUCK COHEN
TEL: 503.320.8090

STRUCTURAL ENGINEER

HORN CONSULTING ENGINEERS
9320 SW BARBUR BLVD.
PORTLAND, OR 97219
CONTACT: DAVE HORN
TEL: 503.892.5782

GENERAL CONTRACTOR

OWNER/ BUILDER: JIM GREENSLADE
31710 NE WAND RD.
TROUTDALE, OREGON 97060
CONTACT: JIM GREENSLADE
TEL.: 503.849.2127

BUILDING DATA

BUILDING CODE:	2014 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)		
	2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE		
CONSTRUCTION TYPE:	TYPE V B		
OCCUPANCY TYPE:	R3		
BUILDING AREA:	EXISTING MAIN LEVEL HABITABLE AREA:	1,576	S.F.
	EXISTING BASEMENT LEVEL HABITABLE AREA:	1,101	S.F.
	NEW MAIN LEVEL HABITABLE AREA:	183	S.F.
		2,860	S.F.
INTERIOR ALTERATIONS AREA : MAIN LEVEL	959 S.F.		
VAULTED CEILING AREA:	INTERIOR ALTERATIONS	959	S.F.
	NEW ADDITION	183	S.F.
		1,142	S.F.
VAULTED AREA / TOTAL HABITABLE AREA:	1,142 S.F. / 2,860 S.F. = 40%		

SHEET INDEX

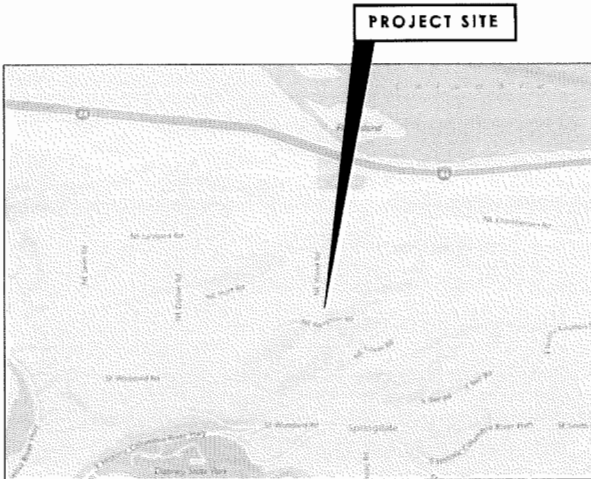
ARCHITECTURAL

A0.0	COVER SHEET, GENERAL NOTES
A1.1	SITE PLAN
A1.2	EXISTING / NEW BASEMENT LEVEL FLOOR PLAN
A1.2	EXISTING/ DEMOLITION MAIN LEVEL FLOOR PLAN
A2.2	NEW MAIN LEVEL FLOOR PLAN
A3.1	BUILDING SECTIONS
A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A6.1	INTERIOR ELEVATIONS
A6.2	INTERIOR ELEVATIONS
A6.3	INTERIOR ELEVATIONS
A7.1	NEW REFLECTED CEILING PLAN W/ POWER & SWITCHING
A8.1	SCHEDULES
A9.1	DETAILS
A9.2	DETAILS

STRUCTURAL

S0	STRUCTURAL NOTES
	SHEAR WALL SCHEDULE
S1.1	FOUNDATION PLAN
S1.2	FLOOR FRAMING PLAN
S1.3	ROOF FRAMING PLAN
S2.1	DETAILS
S2.2	DETAILS

VICINITY MAP



PRESCRIPTIVE PATH ENERGY DATA

PER 2014 OREGON ENERGY CODE

FLAT CEILINGS:	R-38 MIN. INSULATION
VAULTED CEILINGS:	R-30 MIN. INSULATION (WHERE VAULTED AREA < THAN 50% OF HABITABLE FLOOR AREA)
WOOD FRAMED WALLS:	R-21 MIN.
UNDER FLOORS:	R-30 MIN.
DUCT INSULATION:	R-8 MIN.
ENTRY DOORS:	U - 0.20
WINDOWS:	U - 0.35

SEE BUILDING SECTIONS FOR OTHER INSULATION INFO

DEFERRED SUBMITTALS

ELECTRICAL:	BIDDER DESIGNED
PLUMBING:	BIDDER DESIGNED
HVAC:	BIDDER DESIGNED

GREENSLADE RESIDENCE

ADDITION and ALTERATIONS

31710 NE WAND RD.

TROUTDALE, OR 97060

503 849-2127

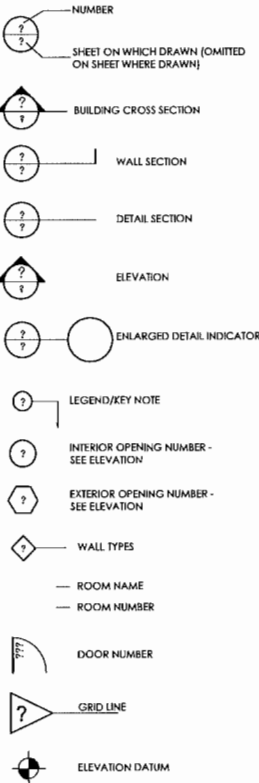
GENERAL NOTES

- GENERAL NOTES APPLY TO ALL DRAWINGS
- ALL EXTERIOR DIMENSIONS ON PLANS ARE FROM FACE OF CONCRETE, FACE OF STUD, CENTERLINE OF COLUMN, OR CENTERLINE OF OPENING UNLESS NOTED OTHERWISE. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FINISH MATERIAL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL BUILDING CODES, ORDINANCES AND REGULATIONS GOVERNING THE WORK FOR THIS PROJECT. NOTHING IN THESE PLANS OR NOTES SHALL BE CONSTRUED TO PERMIT WORK NOT ACCORDING TO CODE.
- THE GENERAL BUILDING PERMIT SHALL BE ACQUIRED BY THE GENERAL CONTRACTOR. ALL REQUIRED TRADE PERMITS SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.
- ALL CONTRACTORS SHALL BE HELD RESPONSIBLE TO HAVE VERIFIED ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK. ANY ERRORS, OMISSIONS, DISCREPANCIES OR QUESTIONABLES IN THE DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNER'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- BEFORE SUBMITTING ANY PROPOSAL, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS AT THE SITE RELATIVE TO EXISTING WORK. MATERIALS TO BE TO MATCHED, WORKING SPACE AVAILABLE, ACCESS, AND OTHER ASPECTS AFFECTING THE SCOPE OF THE WORK TO THE MAKING OF AN INFORMED BID. NO INCREASE IN COST OR EXTENSION IN PERFORMANCE TIME WILL BE CONSIDERED FOR FAILURE TO KNOW THE OBSERVABLE SITE CONDITIONS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL STRUCTURAL WORK WITH THE ARCHITECTURAL DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY OF THE WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A FULL SET OF DRAWINGS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES. THEY SHALL BE MADE AVAILABLE TO THE DESIGNER AND OWNER AT REQUEST.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, PATCHING, AND REPAIRING ALL EXISTING WORK ADJACENT TO HIS WORK OR DAMAGED AS A RESULT OF HIS WORK.
- UNLESS OTHERWISE NOTED, ALL EXISTING WORK OR DEVICES INCLUDING THOSE NOT SHOWN ON THE DRAWING ARE TO REMAIN.
- IN THE CASE OF DISCREPANCIES BETWEEN THE DRAWING AND SPECIFICATIONS, THE REQUIREMENTS SET FORTH IN THE SPECIFICATIONS SHALL PREVAIL. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PERFORMING THE WORK AFFECTED BY THE DISCREPANCY.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION AND ORDERING MATERIALS. IN THE CASE OF A DISCREPANCY BETWEEN DIMENSIONS ON DRAWINGS AND ACTUAL EXISTING CONDITIONS IN THE FIELD, THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED BEFORE PERFORMING THE WORK AFFECTED BY THE DISCREPANCY.
- DISCREPANCY BETWEEN SPECIFICATIONS IN ARCHITECTURAL DRAWINGS & STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK AFFECTED BY THE DISCREPANCY.
- DETAILS MARKED 'TYPICAL' SHALL APPLY IN ALL CASES, UNLESS SPECIFICALLY NOTED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.
- IN NO INSTANCE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS OR DETAILS. FIGURES ON DRAWINGS GOVERN, AND LARGER SCALE DRAWINGS GOVERN OVER SMALL SCALE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AS EVIDENCED BY FINAL PAYMENT. THE GENERAL CONTRACTOR SHALL MAKE NECESSARY REPAIRS AT NO ADDITIONAL COST UPON RECEIPT OF FORMAL NOTICE FROM ARCHITECT.
- THE CONTRACTOR SHALL ADEQUATELY SHORE ALL EXISTING CONSTRUCTION FOR WHICH THE SUPPORT IS REMOVED UNTIL ALL NEW SUPPORTS ARE IN PLACE. WHERE WALLS ARE REMOVED WHICH PROVIDE LATERAL SUPPORT FOR THE BUILDING, EITHER A SEQUENCE OF CONSTRUCTION SHALL BE FOLLOWED WHICH ALLOWS LATERAL FORCES TO BE SUPPORTED BY NEW WALLS PRIOR TO REMOVAL OF EXISTING WALLS OR ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED UNTIL NEW CONSTRUCTION IS IN PLACE.
- REQUESTS FOR MATERIAL CHANGES SHALL BE APPROVED IN WRITING BY THE DESIGNER
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SECURE THE PREMISES AT THE END OF EACH WORKING DAY. DOOR OPENINGS AND WINDOW OPENINGS SHALL BE PROTECTED WITH PLYWOOD SHEETING OR OTHER APPROVED MEANS UNTIL SECURITY LOCKS ARE IN PLACE. OTHER WALL OPENINGS SHALL BE TEMPORARILY COVERED WITH PLYWOOD SHEETING UNTIL THE CONSTRUCTION PHASE THAT PERMANENTLY ENCLOSURES THE WALL OPENING.
- THE GENERAL CONTRACTOR SHALL CLEAN THE SITE OF LOOSE DEBRIS AT END OF EACH WORK DAY.

ABBREVIATIONS

AB	ANCHOR BOLT	L	ANGLE
ACP	ACOUSTICAL CEILING PANEL	LAM	LAMINATE(D)
ADJ	ADJUSTABLE	LB	POUND
AFF	ABOVE FINISH FLOOR	LBS	POUNDS
ANCH	ANCHOR	LF	LINEAR FOOT (FEET)
AWG	AMERICAN WIRE GAUGE	LIN	LINEAR
BD	BOARD	MAS	MASONRY
BLK	BLOCK	MATL	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
BM	BEAM	MDO	MEDIUM DENSITY OVERLAY
BKG	BEARING	MECH	MECHANICAL
BUR	BUILT UP ROOFING	MEMB	MEMBRANE
CF	CUBIC FEET	MET	METAL
C	CHANNEL	MFR	MANUFACTURER
CIP	CAST IN PLACE	MIN	MINIMUM
CJ	CONTROL JOINT	MISC	MISCELLANEOUS
CL	CENTERLINE	MO	MASONRY OPENING
CLR	CLEAR	N	NEW
CMU	CONCRETE MASONRY UNIT	N/A	NOT APPLICABLE
CO	CLEANOUT	N/C	NOT IN CONTRACT
CONC	CONCRETE	NOM	NOMINAL
CONC	CONTINUOUS	NTS	NOT TO SCALE
CT	CERAMIC TILE		
CTR	CENTER	OC	ON CENTER
CW	COLD WATER	OPP	OPPOSITE
CY	CUBIC YARD	OVHD	OVERHEAD
D	PENNY (AS NAIL 10D)	PERP	PERPENDICULAR
DEG	DEGREE	PL	PLATE
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLYWD	PLYWOOD
DN	DOWN	PNL	PANEL
DS	DOWNSPOUT	PREFAB	PREFABRICATED
E	EXISTING	PSF	POUNDS PER SQ. FT.
EA	EACH	PSI	POUNDS PER SQ. INCH
EB	EXPANSION BOLT		
EE	EACH END	RAD OR R	RADIUS
EJ	EXPANSION JOINT	R8	RUBBER BASE
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
ELEC	ELECTRIC(AL)	REF	REFERENCE
EQ	EQUAL	REINF	REINFORCEMENT
EQ	EQUAL	REQ(D)	REQUIRE(D)
EQUIP	EQUIPMENT	REV	REVISIONS
EW	EACH WAY	RO	ROUGH OPENING
EXIST	EXISTING		
EXP	EXPANSION	SD	SMOKE DETECTOR
EXT	EXTERIOR	SF	SQUARE FOOT
		SHIG	SHEATHING
FA	FIRE ALARM	SM	SIMILAR
FD	FLOOR DRAIN	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FINISH FLOOR	STC	SOUND TRANSMISSION CLASS
FH	FIRE HYDRANT	STL	STEEL
FIN	FINISH	SUBFLR	SUBFLOOR
FL	FLOOR	SUSP	SUSPENDED
FLUOR	FLUORESCENT		
FO	FACE OF	T & B	TOP & BOTTOM
FOC	FACE OF CONCRETE	T & G	TONGUE & GROOVE
FOF	FACE OF FINISH	TEMP	TEMPERED - TEMPORARY
FOM	FACE OF MASONRY	TS	TUBE STEEL
FOS	FACE OF STUD	T.O.	TOP OF
FOW	FACE OF WALL		
FT	FEET (FOOT)	TYP	TYPICAL
FIG	FOOTING		
		UG	UNDERGROUND
GA	GAUGE	UL	UNDERWRITERS LABORATORY
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GFI	GROUND FAULT INTERRUPTER		
GLU-LAM	GLUE LAMINATED TIMBER	VB	VAPOR BARRIER
GWB	GYPNUM WALL BOARD	VERT	VERTICAL
GYP	GYPNUM		
		W/	WITH
HC	HANDICAP	W/O	WITHOUT
HDR	HEADER	WO	WOOD
HS	HEADSTUD	WWF	WELED WIRE FABRIC
HT	HEIGHT		
HVAC	HEATING, VENT, & AIR CONDITIONING		
ID	INSIDE DIAMETER		
IN	INCH		
INSUL	INSULATION		

SYMBOLS



MATERIAL LEGEND

	SOIL
	GRAVEL
	SAND
	CONCRETE
	WOOD FRAMING/BLOCKING (LARGE SCALE)
	WOOD (NON-CONTINUOUS BLOCKING (LARGE SCALE)
	WOOD (TRIM/FINISH)
	CONCRETE MASONRY UNIT
	STEEL (LARGE SCALE)
	GLUE LAMINATED WOOD (LARGE SCALE)
	PLYWOOD (LARGE SCALE)
	GYPNUM WALL BOARD (LARGE SCALE)
	BATT INSULATION
	RIGID INSULATION
	ACOUSTICAL TILE (LARGE SCALE)
	TILE (LARGE SCALE)

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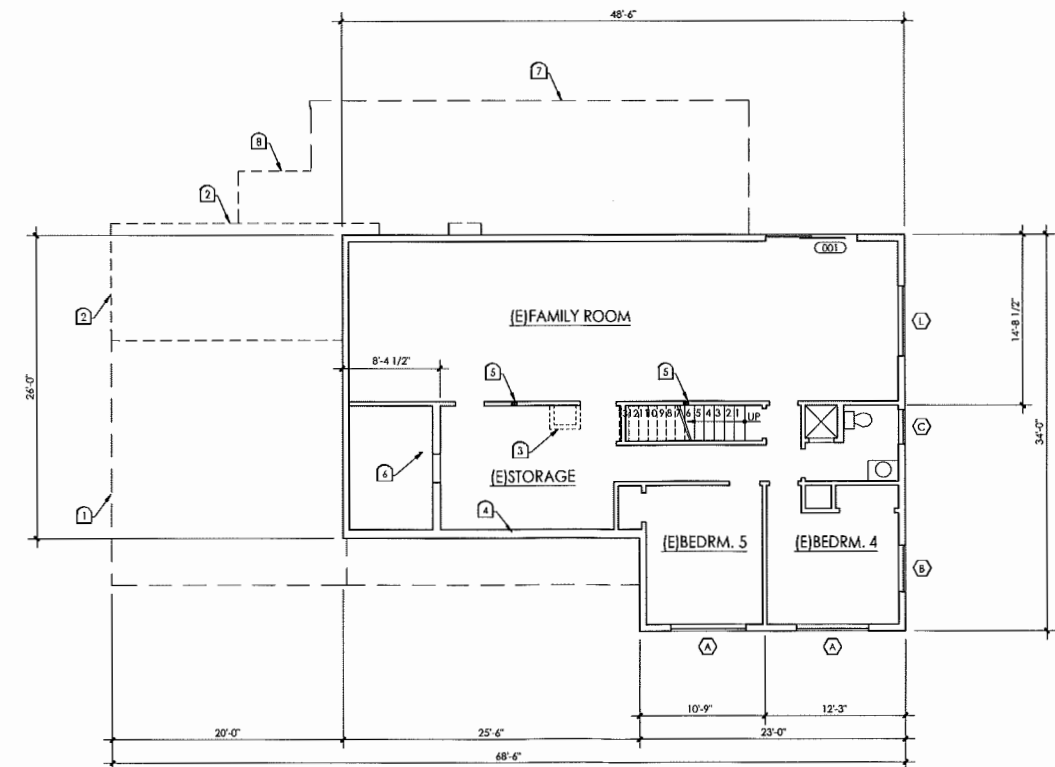
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GEN. NOTES

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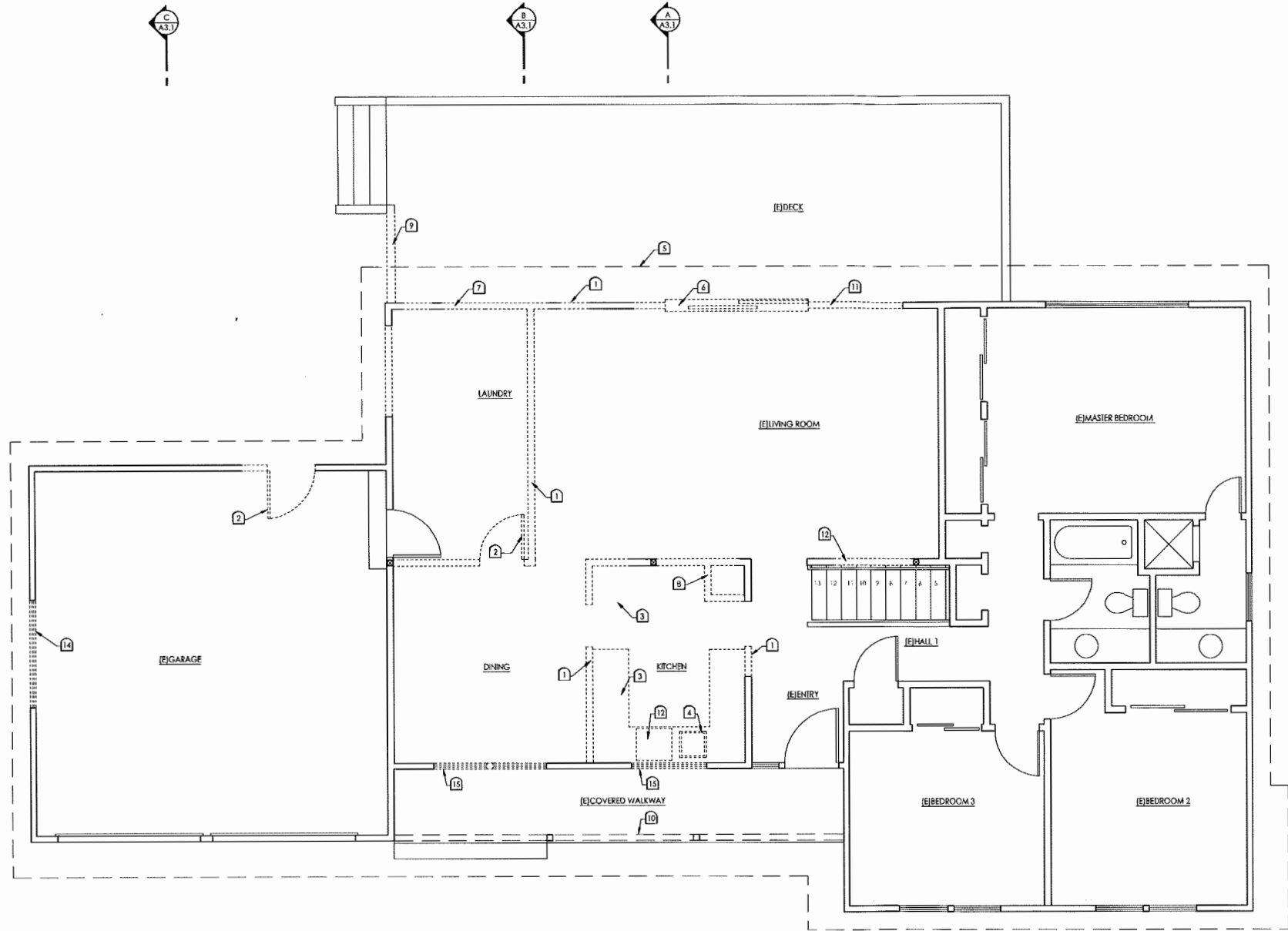
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1 MAIN LEVEL DEMOLITION PLAN

SCALE: 1/4" = 1' - 0"

DEMOLITION PLAN GENERAL NOTES

- FIELD VERIFY BEARING CONDITION OF EXISTING WALLS PRIOR TO REMOVAL.
- ALL EXISTING WINDOW ASSEMBLIES TO BE REMOVED & REPLACED WITH NEW WINDOW ASSEMBLIES

LEGEND

- EXISTING WALL CONSTRUCTION
- WALL OR WALL PORTION TO BE REMOVED
- CONSTRUCTION ELEMENT TO BE REMOVED
- KEYNOTE

DEMOLITION PLAN KEYNOTES

(E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.

- REMOVE WALL
- REMOVE DOOR ASSEMBLY
- REMOVE CASEWORK - TYP.
- REMOVE SINK
- LINE OF ROOF
- REMOVE SLIDING GLASS DOOR ASSEMBLY
- REMOVE WINDOW ASSEMBLY
- REMOVE EXHAUST SHAFT ENCLOSURE
- REMOVE DECK GUARDRAIL FOR NEW DECK EXTENSION
- BM. ABOVE
- REMOVE WALL PORTION FOR NEW WINDOW ASSEMBLY
- REMOVE DISHWASHER
- NOT USED
- ROUGH WINDOW OPENING TO BE MODIFIED FOR NEW WINDOW ASSEMBLY
- ROUGH WINDOW OPENING TO BE MODIFIED FOR NEW WINDOW ASSEMBLY

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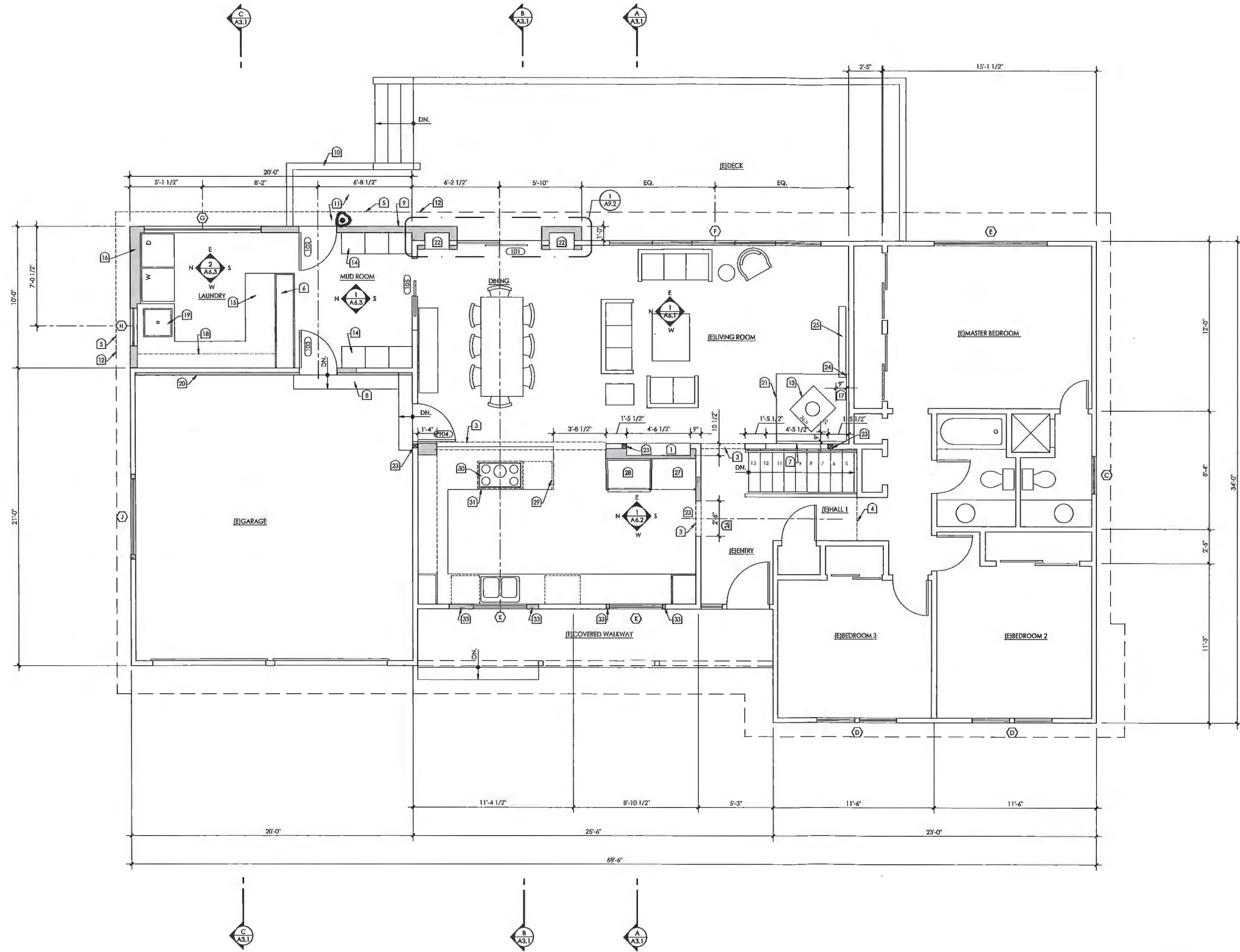
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**MAIN LEVEL
DEMOLITION PLAN**

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A1.2

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1 NEW MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW FLOOR PLAN GENERAL NOTES

- A. INDICATED INTERIOR DIMENSIONS ARE FROM F.O. FINISH TO F.O. FINISH - U.N.O.
B. INDICATED EXTERIOR DIMENSIONS ARE FROM F.O. STUD OR F.O. CONC. - U.N.O.

LEGEND

- EXISTING WALL CONSTRUCTION
NEW WALL CONSTRUCTION

NEW MAIN LEVEL FLOOR PLAN KEYNOTES

- (E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW WORK. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED
- BUILT-IN SHELVING - SEE INT. ELEV.
 - CENTERLINE OF SLIDING GLASS DOOR, COOKTOP, AND WINDOW
 - BEAM ABOVE - SEE INT. ELEV.
 - LINE OF CEILING HT. CHANGE
 - LINE OF NEW ROOF ASSEMBLY
 - CABINERY - COAT AND PANTRY STORAGE - SEE INT. ELEV.
 - NEW WALL OPENING - SEE INT. ELEV. FOR INFO.
 - 1 TREAD (10" MIN.) & 2 RISERS (8" EACH MAX.) - MATCH DIMENSIONS & MATERIAL OF ADJACENT STEP
 - WALL ASSEMBLY - 2 x 6 WD. STUD @ 16" O.C. W/ FIBERGLASS BATT INSUL. - SEE BUILDING SECTION
 - DECK GUARDRAIL - +36" ABOVE FIN. DECK WHERE FIN. DECK > 30" ABOVE FIN. GRADE - 4" CLEAR MAX. BETWEEN BALUSTRADES
 - DECK PORTION TO MATCH EXISTING - T.O. FIN. DECK TO BE LESS THAN 30" ABOVE FIN. GRADE
 - LINE OF [E]ROOF
 - WOOD STOVE HEATER
 - BENCH SEAT W/ SHOE STORAGE BELOW
 - COUNTER TOP @ +36" W/ STORAGE BELOW
 - FURR OUT WALL W/ 2 x 4 WD. STUD TO ACCOMMODATE WASHER BOX & DRYER BOX
 - PROVIDE CLEARANCE PER MFR.'S REQUIREMENTS
 - LINE OF UPPER CABINETS
 - LAUNDRY SINK - 2'-0" x 2'-0"
 - WALL FURRING - 2 x 2 TO [E] 2 x 4 STUDS TO ACCOMMODATE R-21 BATT INSUL.
 - NON-COMBUSTIBLE HEARTH
 - BUILT-IN CABINERY/ SHELVING FOR WINE STORAGE - PROVIDE CLOSED INSUL. AT EXTERIOR WALLS - SEE INTERIOR ELEV., DETAILS
 - CENTER WALL OPENING ON [H] HALL CENTERLINE
 - MASONRY SURROUND TO 36" AFF. (VERIFY W/ MFR.'S REQUIREMENTS)
 - LOCATION FOR FLAT SCREEN T.V.
 - FIN. OPENING WIDTH
 - PANTRY
 - REFRIGERATOR / FREEZER
 - BELOW COUNTER MICROWAVE
 - COOKTOP (3'-0" x 2'-0")
 - LINE OF HOOD ABOVE
 - NOT USED
 - NEW WALL PORTION @ EA. SIDE OF NEW WINDOW ASSEMBLY

@ light

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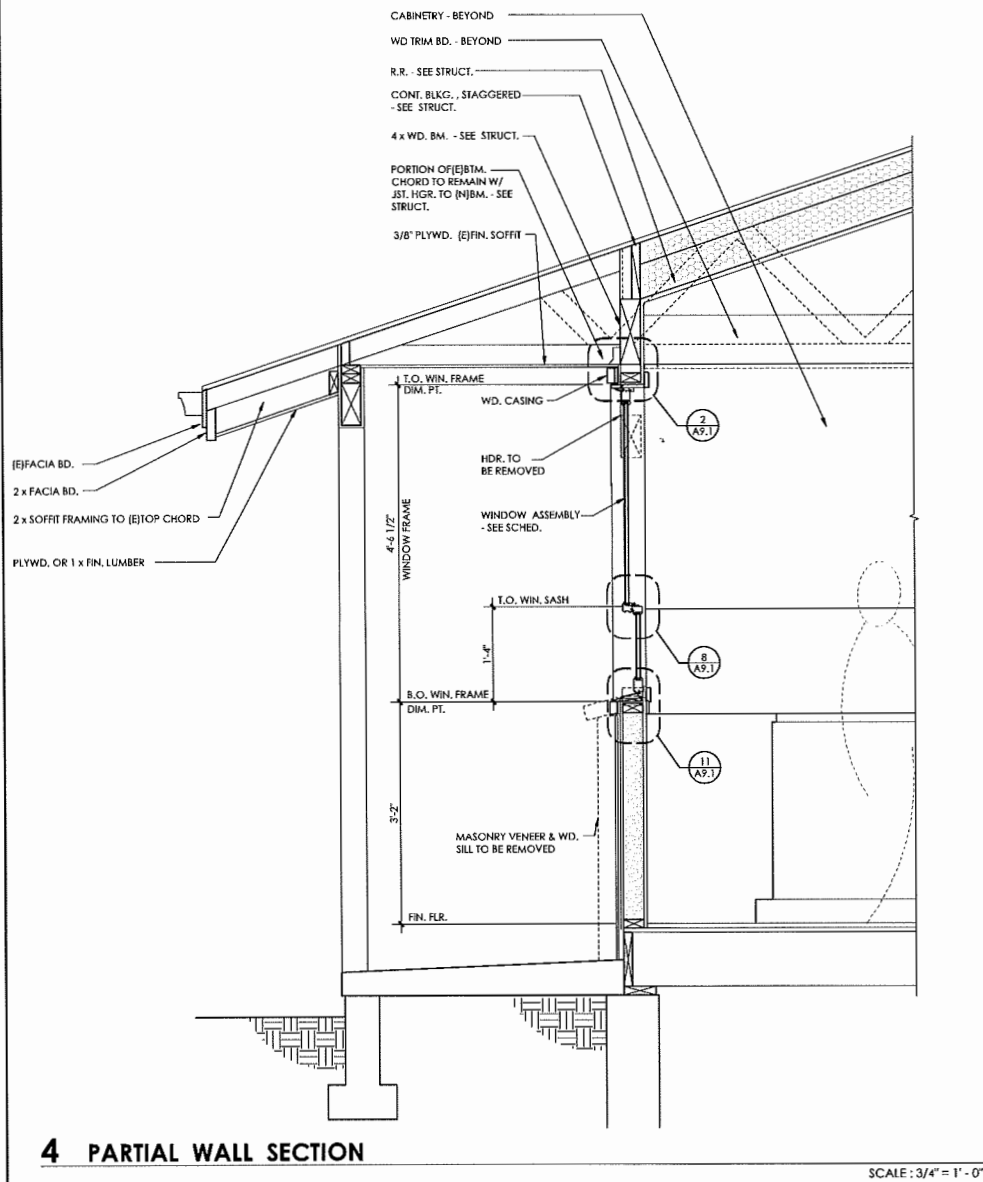
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**NEW MAIN LEVEL
FLOOR PLAN**

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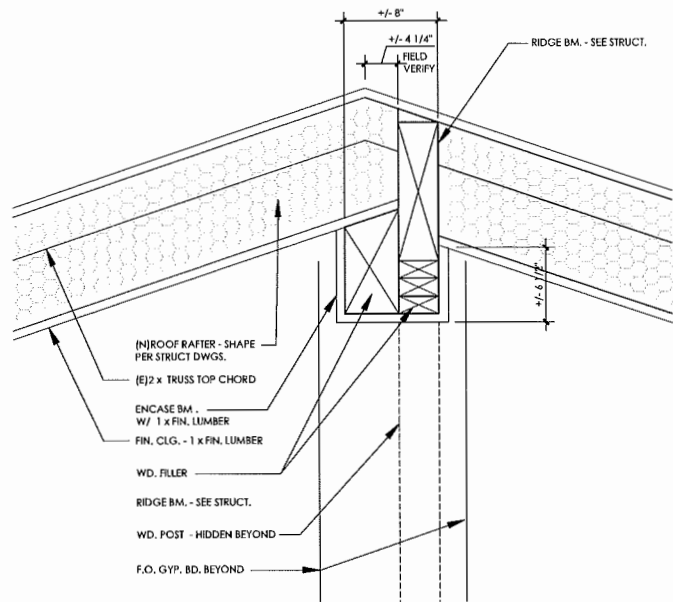
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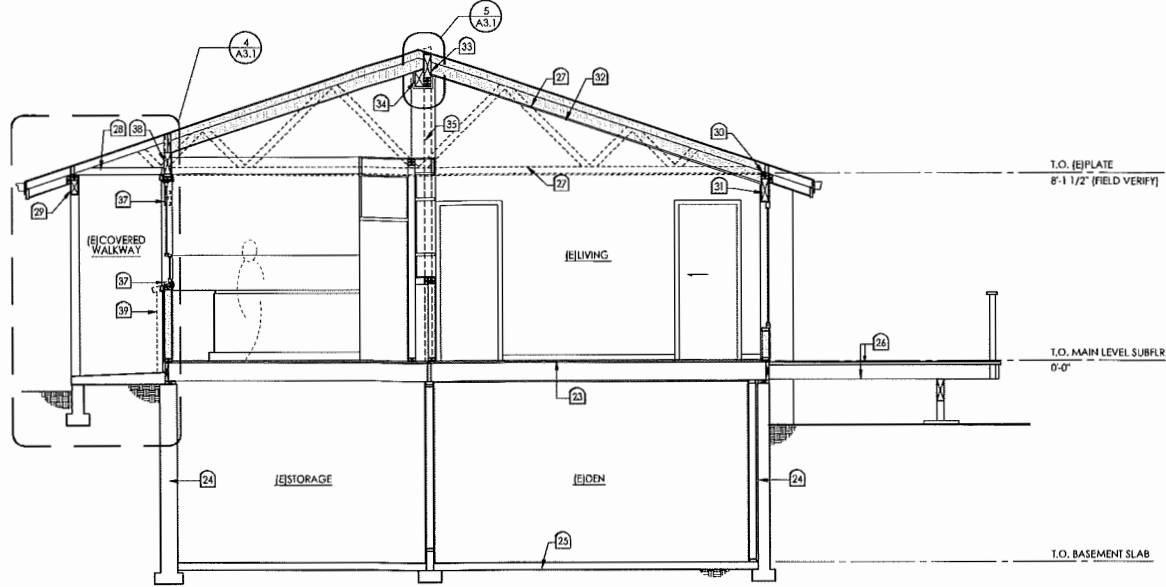
4 PARTIAL WALL SECTION

SCALE: 3/4" = 1' - 0"



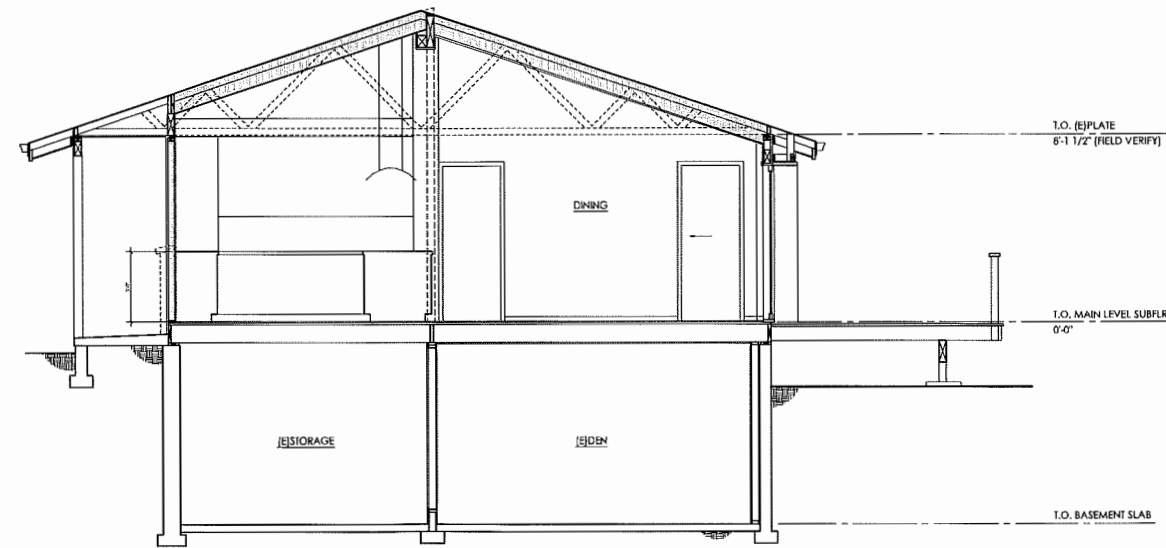
5 RAFTERS TO RIDGE BEAM DETAIL

SCALE: 1 1/2" = 1' - 0"



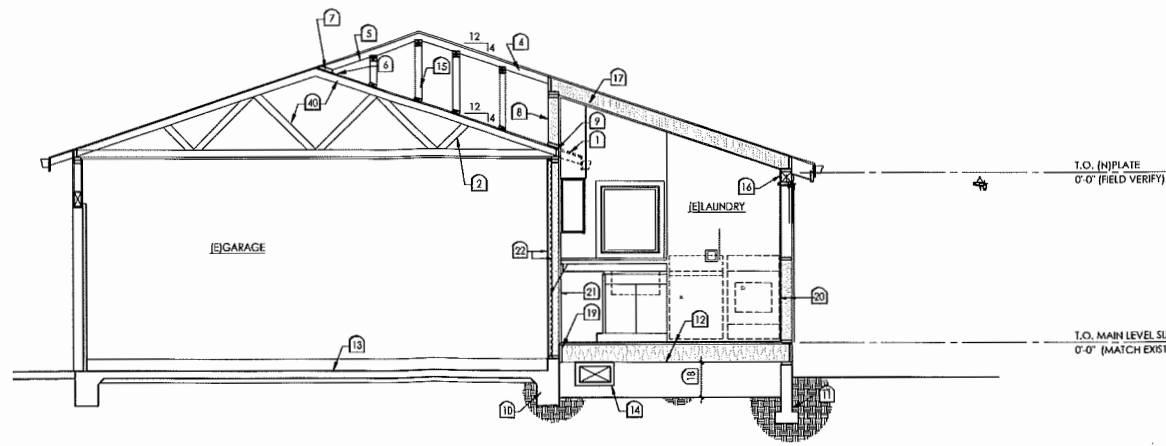
1 BUILDING SECTION 'A' (thru living area)

SCALE: 1/4" = 1' - 0"



2 BUILDING SECTION 'B' (thru dining area - see 1/A3.1 for other notes / info)

SCALE: 1/4" = 1' - 0"



3 BUILDING SECTION 'C'

SCALE: 1/4" = 1' - 0"

BUILDING SECTION GENERAL NOTES

LEGEND

BUILDING SECTION KEYNOTES

(E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.

1. REMOVE TRUSS TAIL & BLKG.
2. (E)PRE-MFR. WD. TRUSS
3. RIDGE BM. - SEE STRUCT.
4. ROOF RAFTER - SEE STRUCT.
5. ROOF RAFTER - SEE STRUCT.
6. REMOVE ROOF COVERING AT LOCATIONS OF (N)WD. 2 x 10 (E)PLYWD. SHTG.
7. CONT. 2 x WD. NAILER
8. PONY WALL W/ 2 x 6 STUD @16" O.C. & R-21 BATT INSUL.
9. CONT. 2 x WD. BLKG. - SEE STRUCT.
10. (E)CONT. CONC. FIG. & RAISED CURB
11. CONC. STEM WALL & FTG. - SEE STRUCT.
12. **FLOOR ASSEMBLY:**
3/4" PLYWD. - SEE STRUCT.
2 x F.J. - SEE STRUCT.
FIBERGLASS BATT INSUL. - R30
13. (E)CONC. SLAB SLOPED
14. DUCTWORK - SEAMS & JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE W/ SECTION M1601.4.1. PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODGE DUCT PERFORMANCE STANDARDS. INSULATE W/ R-8 FOIL FACED BATT INSUL.
15. PONY WALL - SEE STRUCT.
16. HEADER W/ SINGLE TOP PLATE - SEE STRUCT.
17. INSULATION - CLOSED CELL FOAM INSULATION (R
18. REFC
CRAWL SPACE - 18" MIN. - W/ CONT. LAYER OF 6 MIL. POLYETHYLENE LAPPED A MINIMUM OF 12" AND EXTENDED 12" UP FOUNDATION WALLS. PROVIDE CRAWL SPACE ACCESS 18" x 24" MIN. THRU FLOOR OR 16" x 24" THRU PERIMETER WALL. ACCESS DOORS & OTHER OPENINGS & PENETRATIONS SHALL BE CLOSED, GASKETED, OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. PROVIDE AN APPROVED MECHANICAL VENTILATION SYSTEM W/CAPACITY TO EXHAUST A MIN. OF 1.0 CFM FOR EA. 50 S.F. OF UNDER-FLOOR AREA
19. 2 x P.I. WD. LEDGER - SEE STRUCT.
20. **WALL ASSEMBLY:**
WD. FIN. SIDING
PLYWD. BATT @ 16" O.C.
W.R.B.
PLYWD. WALL SHTG. - SEE STRUCT.
2 x 6 STUDS @16" O.C.
FIBERGLASS BATT INSUL. - R21
VAPOR BARRIER
1/2" GYP. BD.
21. **(E)WALL ASSEMBLY:**
(E)3/8" PLWD. SHEATHING TO REMAIN
(E) 2 x 4 WD. STUD @16" O.C.C
REMOVE (E)GYP. BD.
22. 2 x WD. FURRING TO ACCOMMODATE R21 BATT INSUL.
23. (E)FLR. ASSEMBLY - SEE STRUCT.
24. (E)CONC. RET. WALL - SEE STRUCT.
25. (E)CONC. SLAB
26. (E)DECK ASSEMBLY
27. PORTIONS OF (E)TRUSS TO BE REMOVED SHOWN DASHED - TOP CHORD TO REMAIN
28. BOTTOM TRUSS CHORD TO REMAIN @COVERED WALKWAY
29. (E)4 x 10 BM.
30. (E)2 - 2 x 4 CONT. TOP PLATES
31. HDR. - SEE STRUCT.
32. **ROOF ASSEMBLY:**
(E)ASPHALT SHINGLE & BLDG. PAPER
(E)1/2" PLYWD. SHTG.
2 x R.R. - SEE STRUCT.
CLOSED CELL SPRAY FOAM INSUL.
1 x T & G FIN. WD. CEILING
CONT. RIDGE BM. - SEE STRUCT.
WD. FILLER
WD. POST (HIDDEN BEYOND - SHOWN DASHED) - SEE STRUCT.
36. (E)WALL PORTION TO BE REMOVED AT (N)SLIDING GLASS DOOR
37. REMOVE HEADER & SILL FRAMING AT WINDOW OPENINGS
38. (N)BM. ON TOP OF (E)TOP PLATES - SEE STRUCT.
39. REMOVE MASONRY VENEER
40. (E)WD. TRUSS

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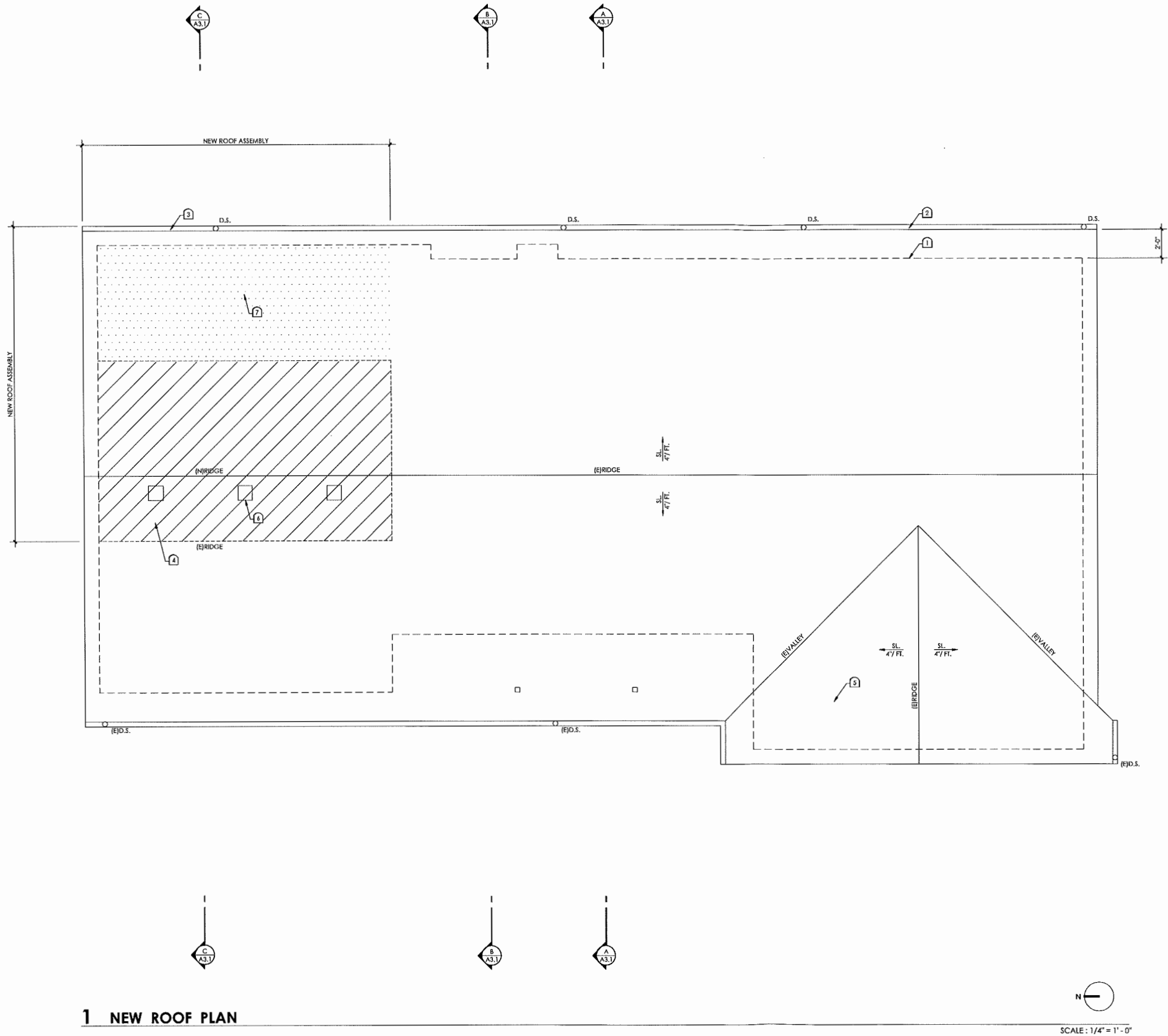
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sheet title
**BUILDING
SECTIONS**

sheet number

A3.1

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NEW ROOF PLAN GENERAL NOTES

- A. PROVIDE ROOF VENTING FOR NEW OVERFRAMED AREA AT EXISTING GARAGE AND EXISTING GARAGE ATTIC AREA.
- B. THE NET FREE VENT AREA (NFVA) SHALL NOT BE LESS THAN 1:150 OF THE AREA OF THE SPACE BEING VENTED. THE NET FREE VENTILATION MAY BE REDUCED FROM 1:150 TO 1:300 WHEN AT LEAST 40 PERCENT BUT NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED AT OR NEAR THE UPPER PORTION OF THE SPACE BEING VENTILATED.

LEGEND

- (E)D.S. EXISTING DOWNSPOUT
- D.S. DOWNSPOUT

NEW ROOF PLAN KEYNOTES

- (E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW WORK. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.
1. LINE OF BLDG AT MAIN LEVEL BELOW
 2. (E)SHT. MTL. GUTTER & (E) DOWNSPOUT
 3. SHT. MTL. GUTTER & DOWNSPOUT (PREPAINTED)
 4. (N)OVERFRAMING AREA OVER (E)ROOF ASSEMBLY
 5. (E)OVERFRAMING AREA
 6. ROOF VENT - SEE ROOF PLAN GENERAL NOTES
 7. VAULTED CEILING AREA W/ CLOSED CELL INSULATION IN RAFTER CAVITIES - NO EXTERIOR VENTILATION PROVIDED

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NEW ROOF PLAN

sheet number

A4.1

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EXTERIOR ELEVATION GENERAL NOTES

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LEGEND

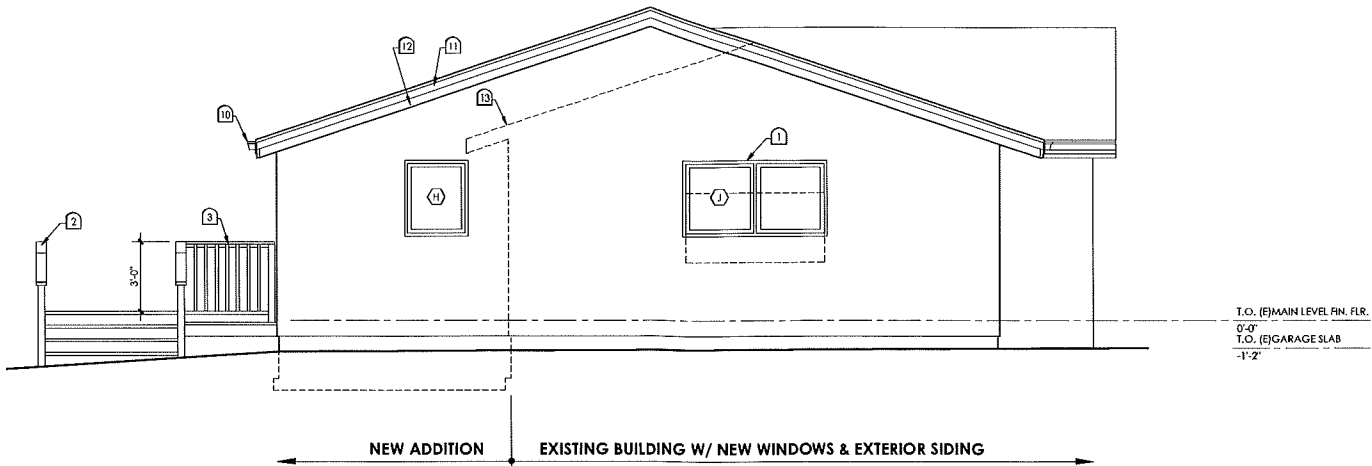
KEYNOTE

EXTERIOR ELEVATION KEYNOTES

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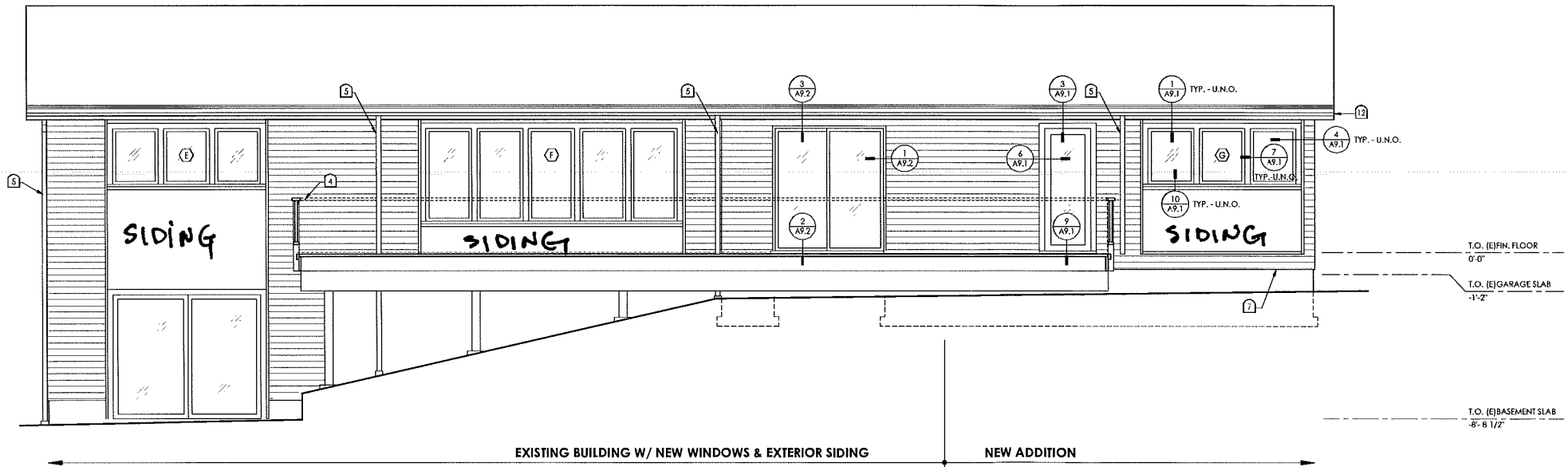
1. RELOCATE WINDOW OPENING - ALIGN WINDOW HEAD W/ HEAD OF LAUNDRY RM. WINDOW - MAINTAIN ROUGH OPENING WIDTH
2. (E) GUARDRAIL ASSEMBLY & STAIRCASE ASSEMBLY
3. GUARDRAIL ASSEMBLY PORTION +36" ABOVE FIN. DECK - 4" MAX. CLEAR BETWEEN BALUSTRADES
4. LINE OF (E) GUARDRAIL ASSEMBLY BEHIND POINT OF VIEW FOR ELEVATION
5. (N) DOWNSPOUT LOCATION
6. DOWNSPOUT
7. ALIGN BOTTOM OF SIDING W/ BOTTOM OF SIDING ON NORTH ELEVATION
8. NOT USED
9. (N) WINDOW ASSEMBLY TO REPLACE (E) WINDOW ASSEMBLY IN (E) WINDOW ROUGH OPENING - TYP.

10. (E) GUTTER
11. (E) FASCIA BD.
12. FASCIA BD. SEE BUILDING SECTION
13. LINE OF (E) BLDG.
14. (E) WINDOW OPENING TO BE MODIFIED



1 NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



2 EAST ELEVATION

SCALE: 1/4" = 1' - 0"

Siding = hardi-plank style
WINDOWS WILL have a reflectivity rating of 13% or less.

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EXTERIOR ELEVATION GENERAL NOTES

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Portland, OR 97215
503.320.8090

LEGEND

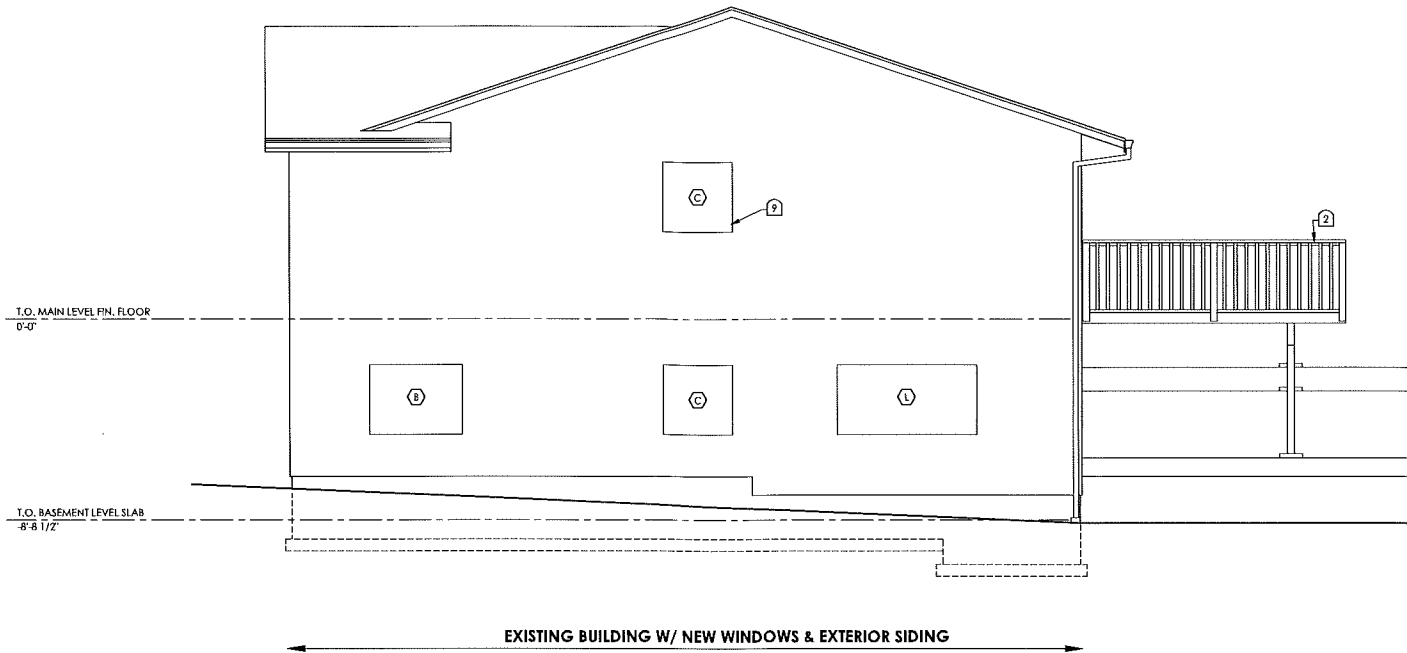
KEYNOTE

EXTERIOR ELEVATION KEYNOTES

(E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.

1. RELOCATE WINDOW OPENING - ALIGN WINDOW HEAD W/ HEAD OF LAUNDRY RM. WINDOW - MAINTAIN ROUGH OPENING WIDTH
2. (E) GUARDRAIL ASSEMBLY & STAIRCASE ASSEMBLY
3. GUARDRAIL ASSEMBLY PORTION +36" ABOVE FIN. DECK - 4" MAX. CLEAR BETWEEN BALUSTRADES
4. LINE OF (E) GUARDRAIL ASSEMBLY BEHIND POINT OF VIEW FOR ELEVATION
5. (N) DOWNSPOUT LOCATION
6. DOWNSPOUT
7. ALIGN BOTTOM OF SIDING W/ BOTTOM OF SIDING ON NORTH ELEVATION
8. NOT USED
9. (N) WINDOW ASSEMBLY TO REPLACE (E) WINDOW ASSEMBLY IN (E) WINDOW ROUGH OPENING - TYP.

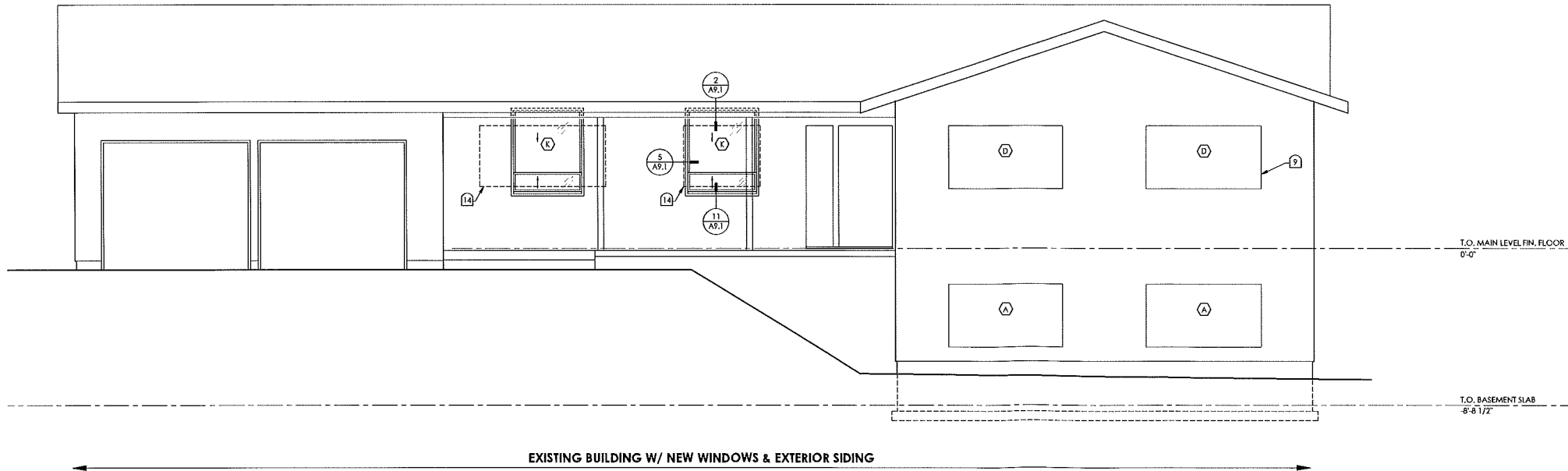
10. (E) GUTTER
11. (E) FASCIA BD.
12. FASCIA BD. SEE BUILDING SECTION
13. LINE OF (E) BLDG.
14. (E) WINDOW OPENING TO BE MODIFIED



1 SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"

1/8" = 1'



2 WEST ELEVATION

SCALE: 1/8" = 1' - 0"

1/8" = 1'

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issue/revisions

issue/revisions	issue date

project no.

issue date

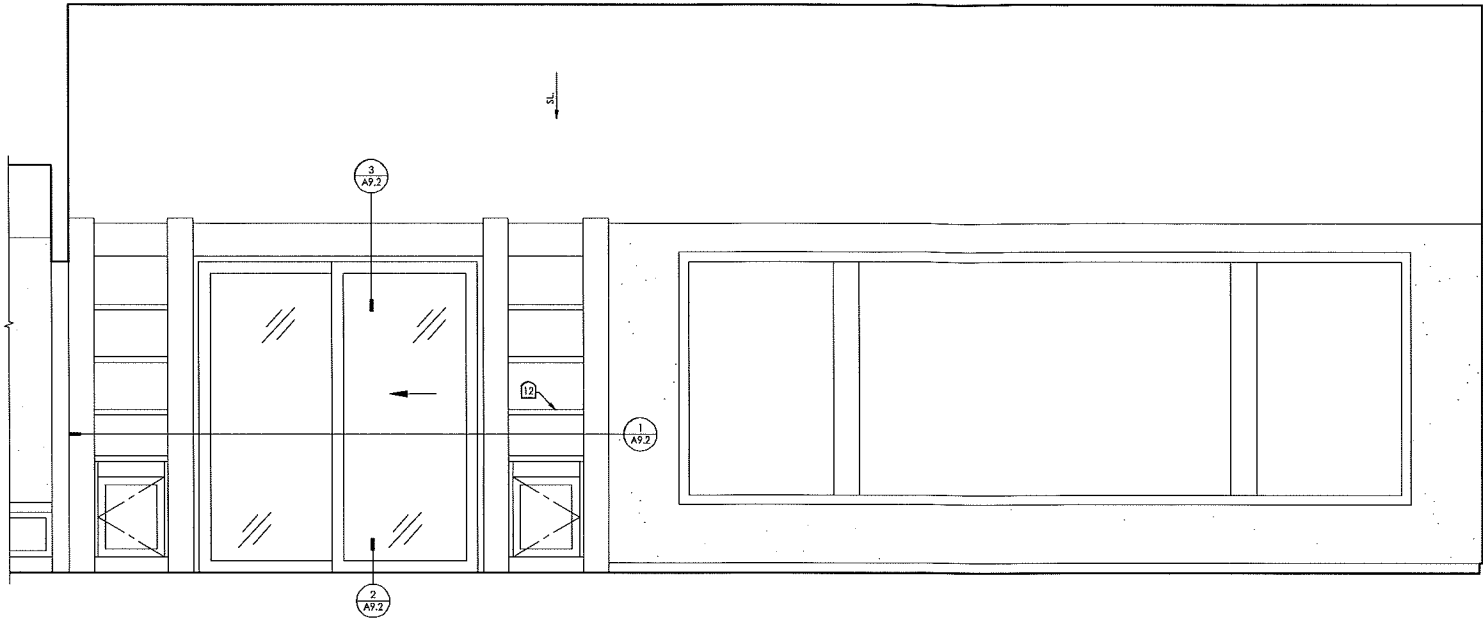
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**EXTERIOR
ELEVATIONS**

sheet number

A5.2

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1 LIVING | DINING ROOM INTERIOR ELEVATIONS

SCALE: 1/2" = 1' - 0"

INTERIOR ELEVATION GENERAL NOTES

A. XS

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2. DBL. HUNG WINDOW WITH UNEVEN SASH SIZES - MODIFY OPENING HEAD, SILL, & WIDTH AS REQ'D.
3. ASSUMED EXISTING HEADER LOCATION. VERIFY LOCATION PRIOR TO ORDERING WINDOWS
4. CERAMIC OR STONE TILE
5. ROUGH FRAMING ENCASED W/ FIN. LUMBER
6. WD. TRIM, BOARD
7. RIDGE BM. ENCASED W/ FISHER LUMBER
8. LINE OF BUILT-IN SHELVING BEYOND
9. CABINET COMPARTMENT FOR BAKING SHEETS AND TRAYS
10. MICROWAVE IN A DRAWER
11. WD. SHELVING - +/- 12" DEEP
12. OPEN SHELVING
13. GYP. BD. SOFFIT OVER CABINETRY
14. ALIGN T.O. CABINETRY W/ T.O. WINDOW CASING AND/OR DOOR CASING
15. BACKSLASH - MATERIAL & HT. TO BE DETERMINED
16. OPEN COMPARTMENT - TYP.
17. UPHOLSTERED CUSHION AT BENCH & BENCH BOX
18. WASHER BOX - RECESSED
19. WALL CAP FOR FURRED OUT HALF WALL BELOW, P.LAM. OVER 1 MARINE PLYWD. W/ SELF EDGING OR OTHER MATERIAL TO BE DETERMINED
20. WALL PORTION TO BE FURRED OUT
21. WALL PORTION W/O WALL FURRING

project

**Greenslade
Residence
Alterations**

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no.	description	date

project no.

issue date

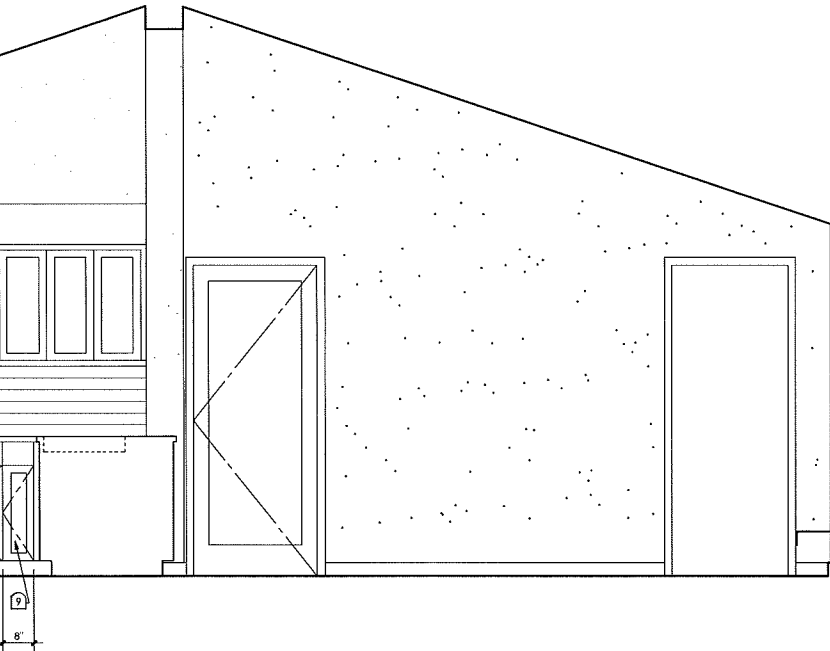
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**INTERIOR
ELEVATIONS**

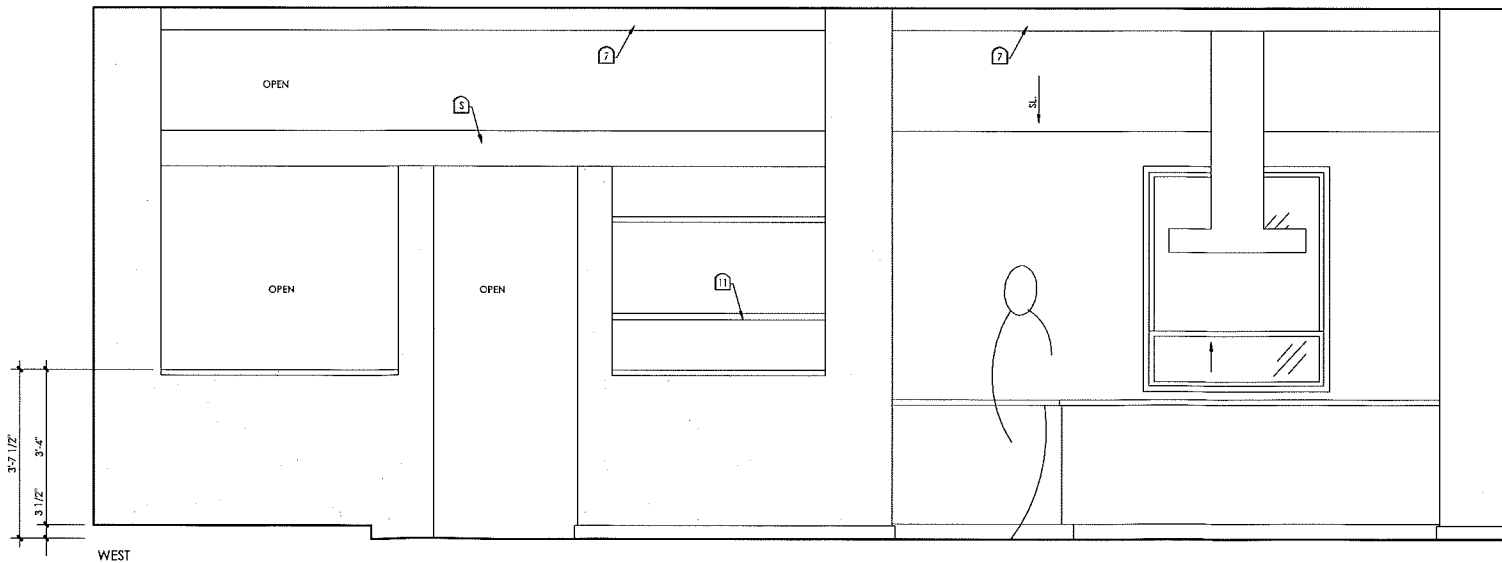
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SCALE: 1/2" = 1' - 0"

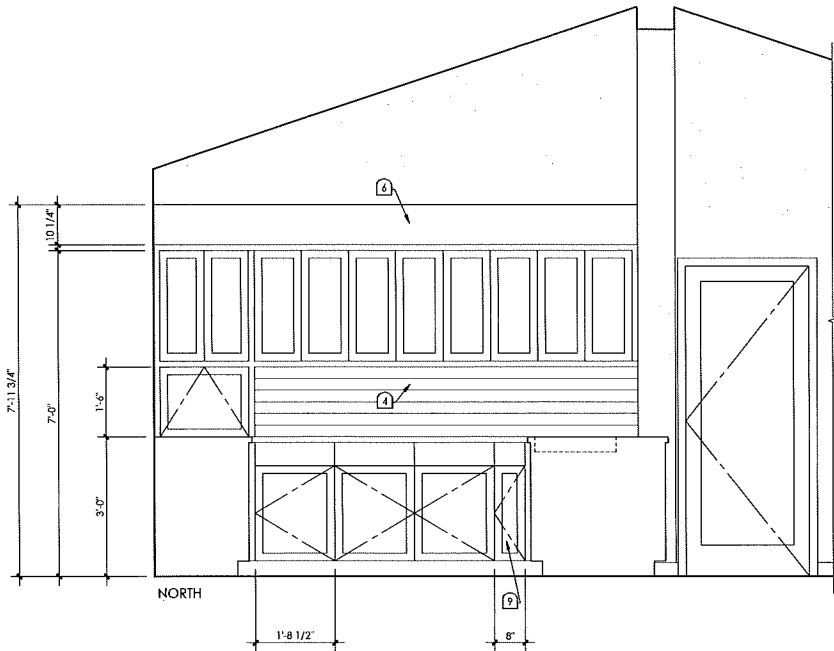


1 LIVING | DINING ROOM INTERIOR ELEVATIONS (continued)

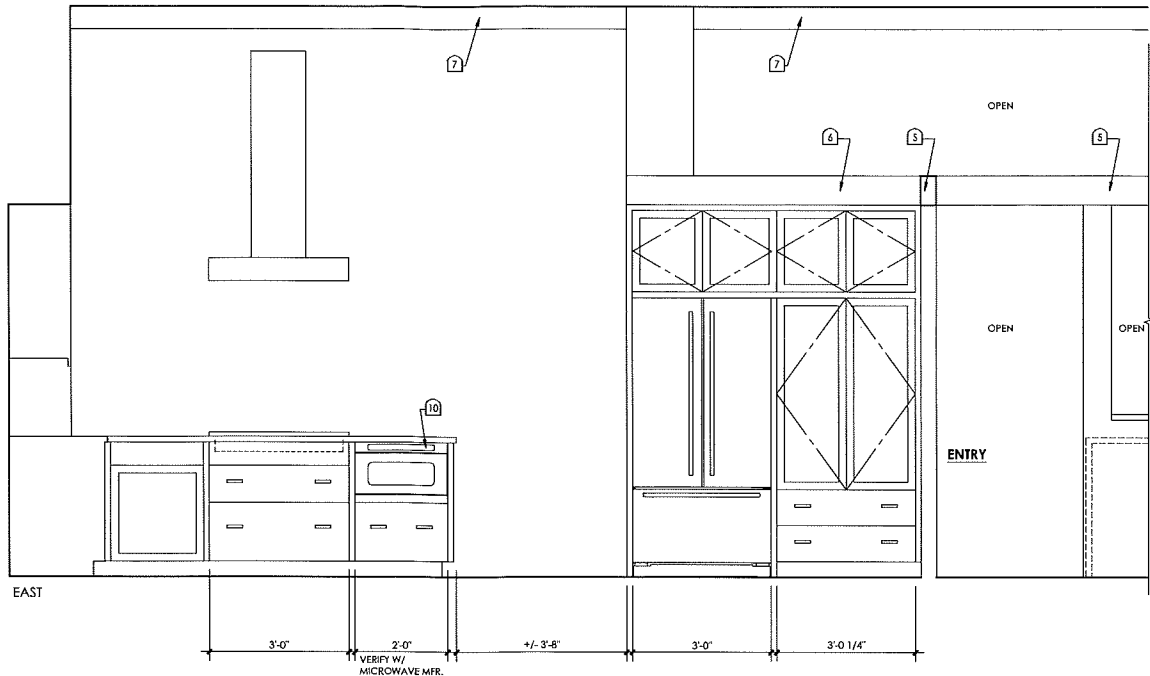


WEST

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1 KITCHEN INTERIOR ELEVATIONS



INTERIOR ELEVATION GENERAL NOTES

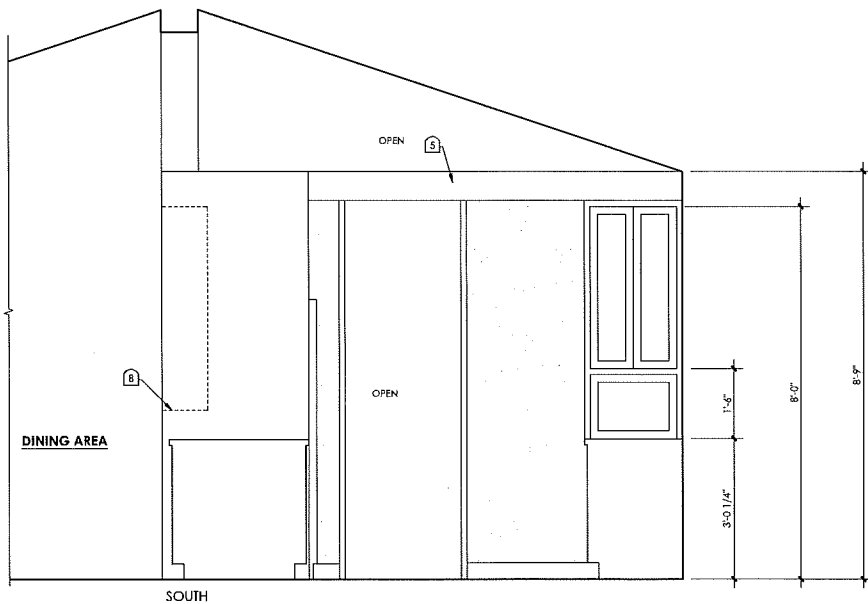
A. XS

INTERIOR ELEVATION KEYNOTES

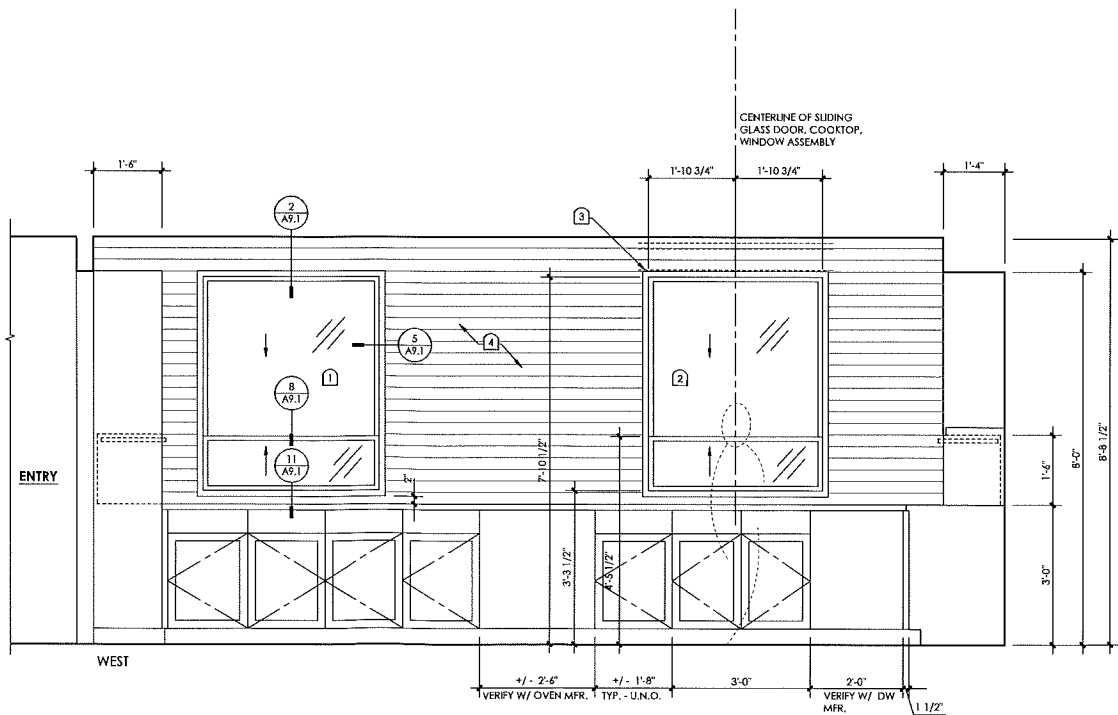
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20. WALL PORTION TO BE FURRED OUT
21. WALL PORTION W/O WALL FURRING

SCALE: 1/2" = 1' - 0"



1 KITCHEN INTERIOR ELEVATIONS (continued)



SCALE: 1/2" = 1' - 0"

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project no.

issue date

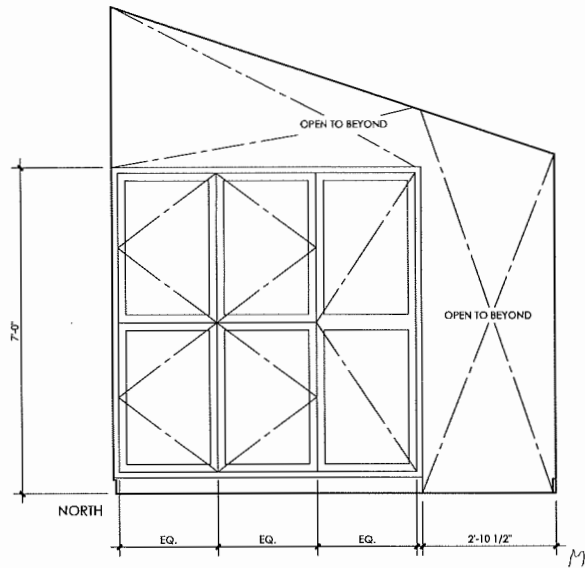
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**INTERIOR
ELEVATIONS**

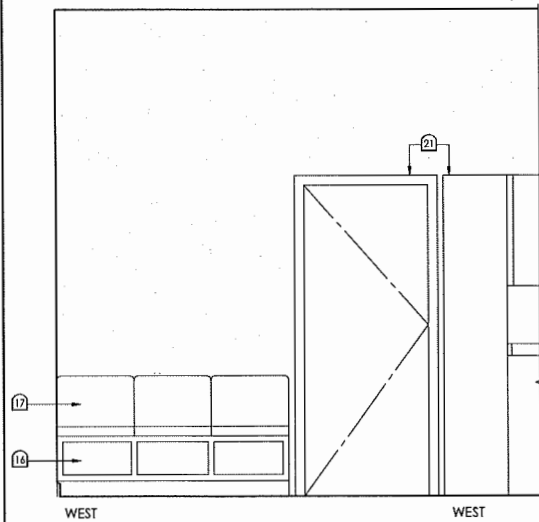
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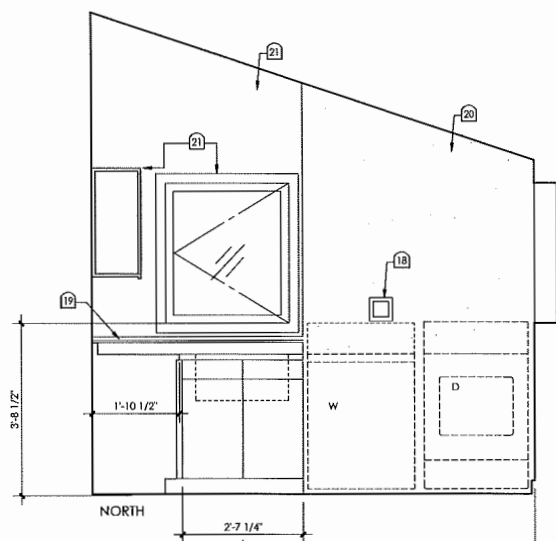
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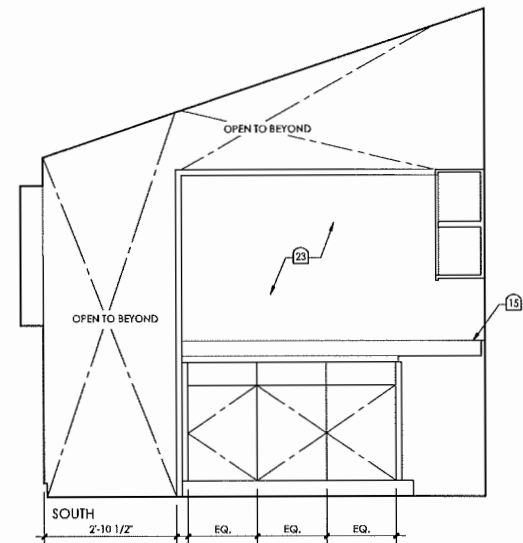
1 MUD ROOM INTERIOR ELEVATIONS



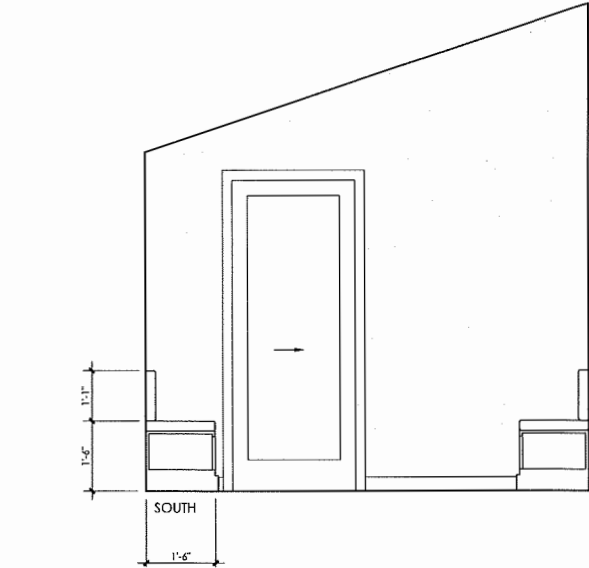
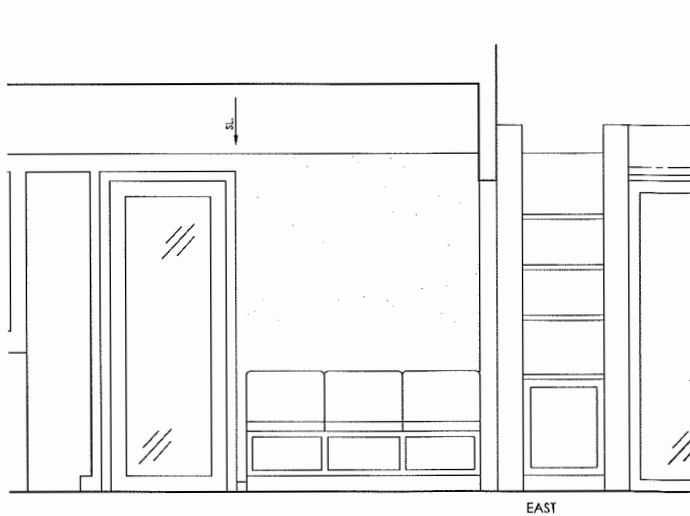
1 MUD ROOM INTERIOR ELEVATIONS (cont'd.)
SCALE: 1/2" = 1' - 0"



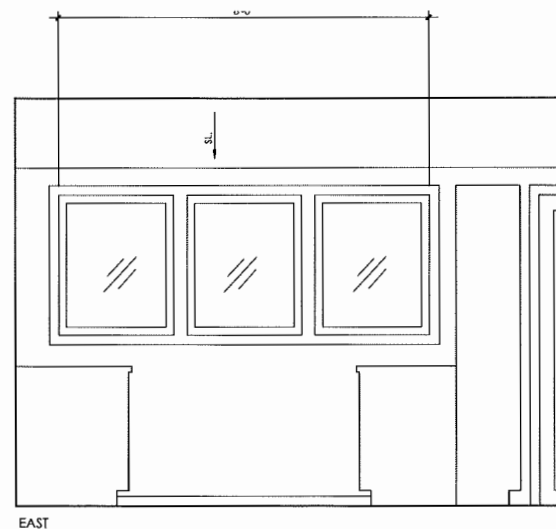
2 LAUNDRY ROOM INTERIOR ELEVATIONS



2 LAUNDRY ROOM INTERIOR ELEVATIONS (continued)



SCALE: 1/2" = 1' - 0"



SCALE: 1/2" = 1' - 0"

SCALE: 1/2" = 1' - 0"

INTERIOR ELEVATION GENERAL NOTES

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Issue/Revisions	Issue date

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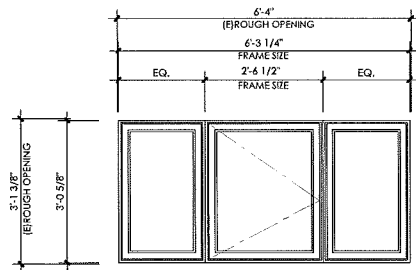
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**INTERIOR
ELEVATIONS**

sheet number

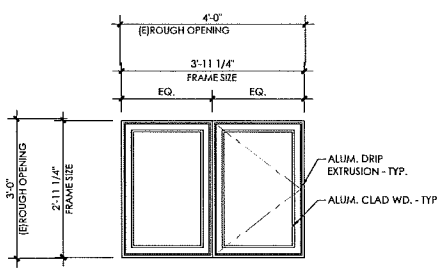
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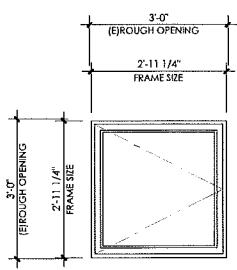


(A) BASEMENT BEDROOMS WEST MULLED CASEMENT & FIXED UNITS

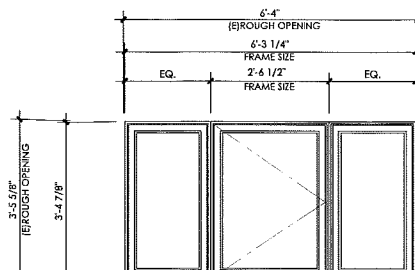
NOTE:
NET EGRESS CASEMENT WINDOW AREA TO EQUAL 5.0 S.F. OR GREATER



(B) BASEMENT BEDRM. SOUTH MULLED CASEMENT & FIXED UNIT



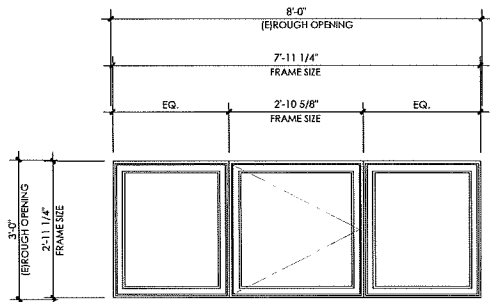
(C) BASEMENT & MAIN LEVEL BATHRM. SOUTH



(D) MAIN LEVEL BEDROOMS WEST MULLED CASEMENT & FIXED UNITS

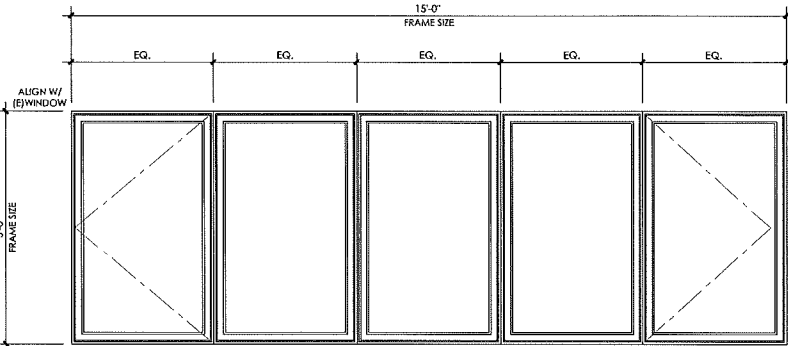
MIN. REQ'D FRAME WIDTH = 30 1/2" FOR FRAME HT. OF 3'-4 7/8" FOR NET EGRESS CASEMENT WINDOW AREA TO EQUAL 5.7 S.F.

FIN. FLR.



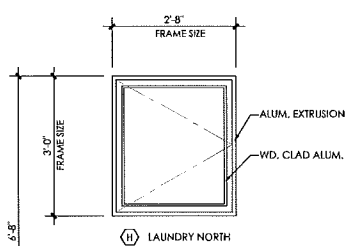
(E) MAIN LEVEL MBR. EAST MULLED CASEMENT & FIXED UNITS

MIN. REQ'D FRAME WIDTH = 2'-10 5/8" FOR FRAME HT. OF 2'-11 1/4" FOR NET EGRESS CASEMENT WINDOW AREA TO EQUAL 5.7 S.F.

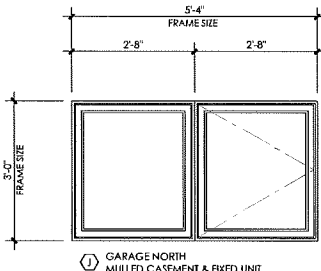


(F) LIVING RM. EAST MULLED CASEMENT & FIXED UNITS

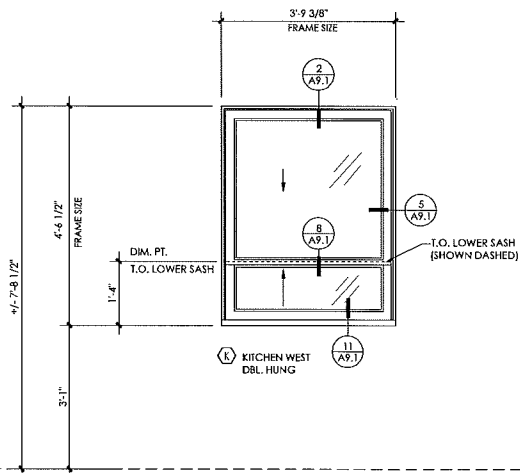
FIN. FLR.



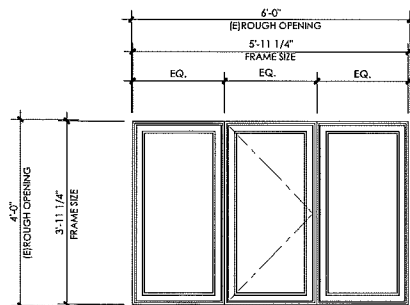
(H) LAUNDRY NORTH



(I) GARAGE NORTH MULLED CASEMENT & FIXED UNIT



(L) KITCHEN WEST DBL. HUNG



(M) BASEMENT LEVEL FAMILY RM. SOUTH MULLED CASEMENT & FIXED UNITS

FIN. FLR.

NOTES:

- ALL WINDOWS TO BE JELD-WEN SITELINE WOOD W/ ALUM. CLADDING W/ SET BACK OF 1 3/16". NAILING FLANGE, AND ALUM. DRIP CAP
- VERIFY Y WOOD SPECIES FOR EACH LOCATION W/ OWNER
- WINDOW SIZES ARE APPROXIMATE - GENERAL CONTRACTOR TO VERIFY SIZES PRIOR TO ORDERING
- INDICATED WINDOWS ARE SHOWN FROM EXTERIOR
- BASEMENT LEVEL REPLACEMENT WINDOWS TO FIT WALL ASSEMBLY WITH 1/2" GYP. BD., 2 x 6 WD. STUD., 1/2" WD. SHTG. - FIELD VERIFY
- MAIN LEVEL REPLACEMENT WINDOWS TO FIT WALL ASSEMBLY WITH 1/2" GYP. BD., 2 x 4 WD. STUD., 1/2" WD. SHTG. - FIELD VERIFY
- NEW MAIN LEVEL WINDOWS TO FIT WALL ASSEMBLY WITH 1/2" GYP. BD., 2 x 6 WD. STUD., 1/2" WD. SHTG.
- ALL WINDOW ASSEMBLIES: DOUBLE PANE, LOW-E GLAZING.
- WINDOW TYPE (A) TO PROVIDE A MIN. NET EGRESS CLEARANCE OF 5.0 S.F. AND MIN. NET WIDTH OF 20" AND MIN. NET HEIGHT OF 24".
- WINDOW TYPES (D) (E) TO PROVIDE A MIN. NET EGRESS CLEARANCE OF 5.7 S.F. AND MIN. NET WIDTH OF 20" AND MIN. NET HEIGHT OF 24".
- TO MAINTAIN JELD-WEN WARRANTY ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES TO BE INSTALLED PER JELD-WEN RECOMMENDED INSTALLATION INSTRUCTIONS FOR METAL CLAD WOOD WINDOWS AND DOORS WITH NAILING FIN OR IN STRICT COMPLIANCE WITH AAMA SPECIFICATIONS (2400-02).
- CASEMENT WINDOW SILL DETAIL 10/A9.1 INDICATES 2 OPTIONS FOR ROUGH SILL OPENING. IF BEVELED WEDGE IS USED SUBTRACT 3/8" FROM WINDOW UNIT HEIGHT TO ACCOMMODATE THICKNESS OF CEDAR WEDGE.

WINDOW TYPES

DOOR SCHEDULE

DOOR NO.	DOOR SIZE WIDTH x HT.	DOOR		FRAME			DETAILS					ADDITIONAL DETAILS	NOTES
		TYPE	MATL.	FIN.	TYPE	MATL.	FIN.	HEAD	JAMB	ALT JAMB	SILL		
001	8'-0" x 6'-8"	E	WD	P			P						1.5
101	6'-0" x 6'-8"	E	WD	CC	-	-	CC	3/A9.2	1/A9.2	-	2/A9.2	-	1.6
102	2'-8" x 6'-8"	D	WD	CC	-	-	CC	3/A9.2	6/A9.2	-	9/A9.2	-	1.7
103	2'-8" x 6'-8"	D	WD	CC	-	-	CC	-	-	-	-	-	2.2A.3
104	2'-8" x 6'-8"	B	WD	CC	-	-	CC	-	-	-	-	-	2.2A.3
105	2'-8" x 6'-8"	A	WD	CC	-	-	CC	-	-	-	-	-	4

ABBREVIATIONS:

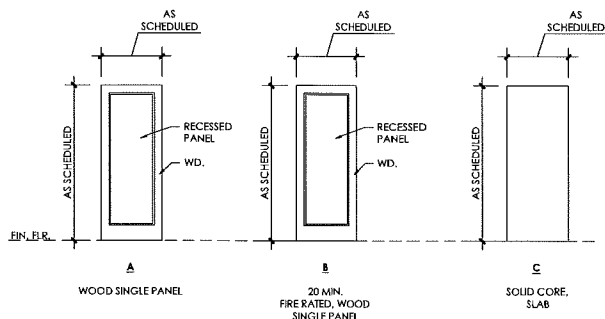
CC CLEAR COAT
P PAINT
WD WOOD

NOTES:

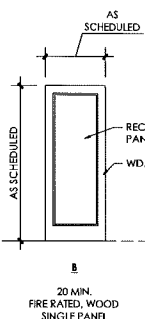
- WD, W/ ALUM. CLAD EXTERIOR
- PROVIDE SELF CLOSING MECHANISM ON PUSH SIDE OR SELF CLOSING HINGES
- ALTERNATE - PROVIDE 1 3/8" SOLID CORE DOOR (NO SELF CLOSING MECHANISM REQUIRED)
- PROVIDE SMOKE SEALS & THRESHOLD
- POCKET DOOR ASSEMBLY
- FIELD VERIFY REQUIRED JAMB, HEAD, & SILL CONDITIONS
- 4 9/16" FRAME OPTION
- 6 9/16" FRAME OPTION

GENERAL NOTES:

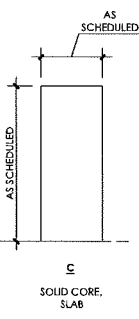
- DOOR HARDWARE TO BE SELECTED BY OWNER.
- SLIDING DOORS = JELD-WEN SITELINE WD. CLAD 400 (NARROW STILE) STANDARD JAMB W/NAIL-ON FIN. WOOD: DOUGLAS FIR, ALUM. CLADDING COLOR: XXXX
- EXTERIOR SWINGING DOOR = JELD-WEN SITELINE WD. CLAD 00000 STANDARD JAMB W/NAIL-ON FIN. WOOD: DOUGLAS FIR, ALUM. CLADDING COLOR: XXXX



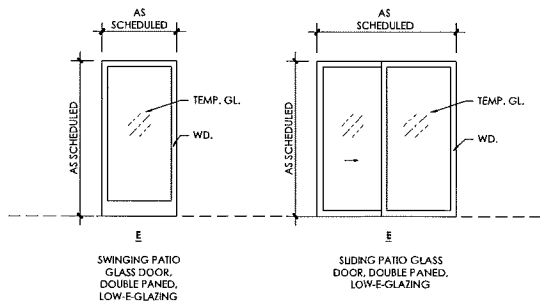
WOOD SINGLE PANEL



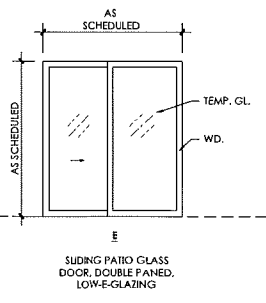
20 MIN. FIRE RATED, WOOD SINGLE PANEL



SOLID CORE, SLAB



SWINGING PATIO GLASS DOOR, DOUBLE PANED, LOW-E GLAZING



SLIDING PATIO GLASS DOOR, DOUBLE PANED, LOW-E GLAZING

DOOR TYPES

project

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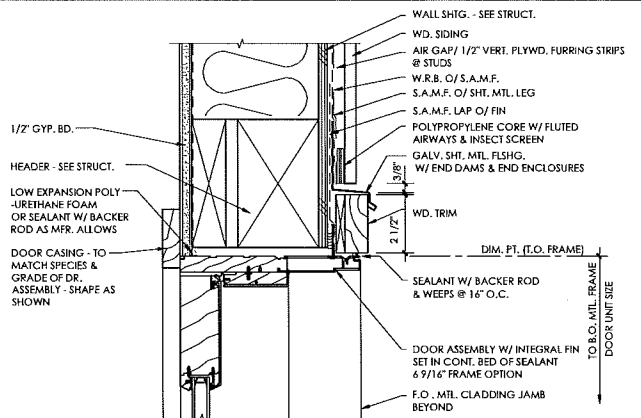
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SCHEDULES

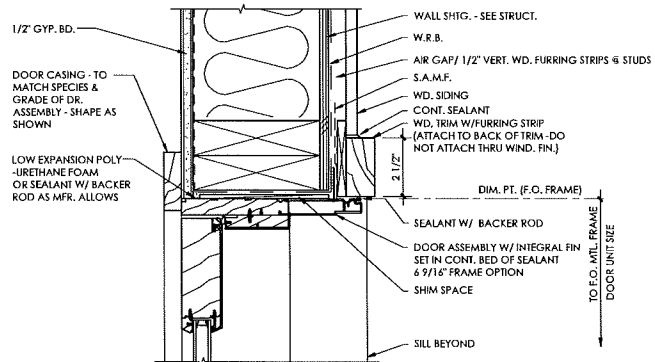
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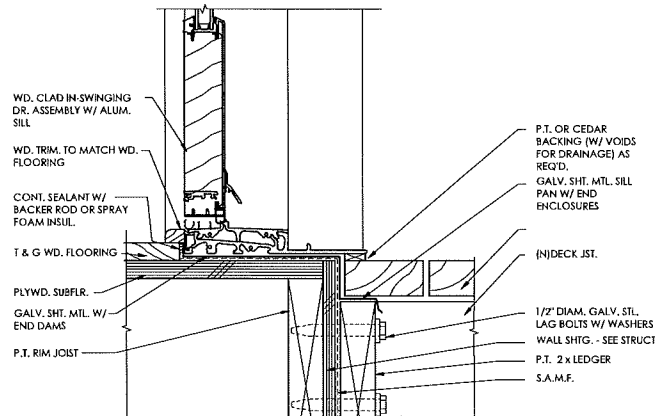
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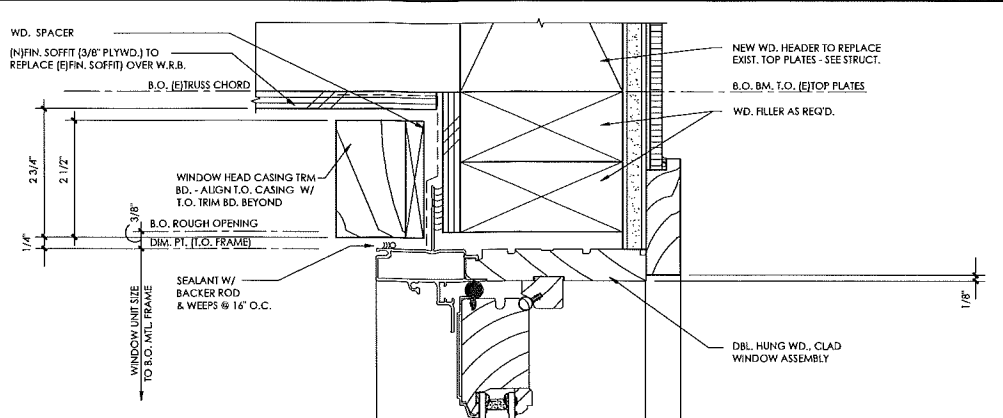
3 PATIO SWINGING DOOR HEAD DETAIL
SCALE: 3" = 1' - 0"



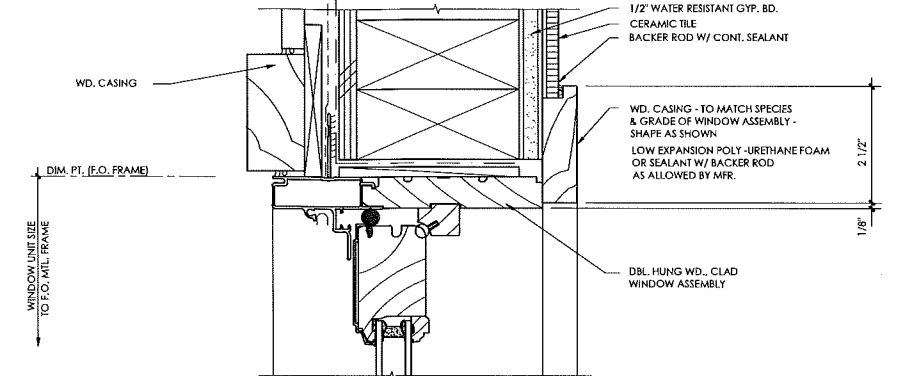
6 PATIO SWINGING DOOR JAMB DETAIL
SCALE: 3" = 1' - 0"



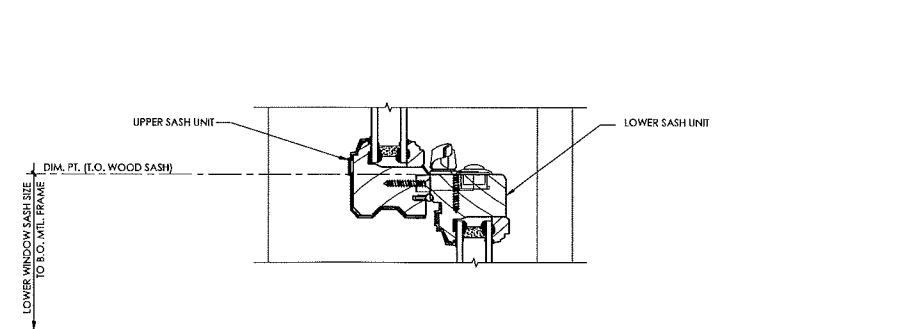
9 PATIO SWINGING DOOR SILL DETAIL
SCALE: 3" = 1' - 0"



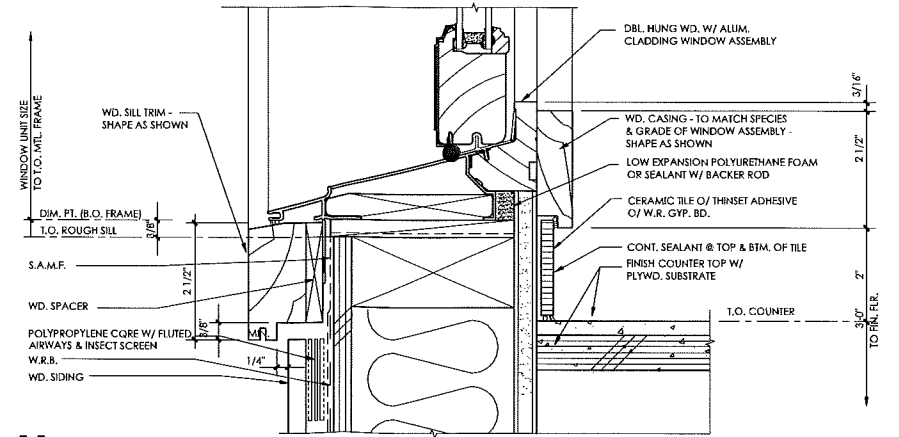
2 DOUBLE HUNG WINDOW HEAD DETAIL (see 5/A9.1 for other notes / info.)
SCALE: 6" = 1' - 0"



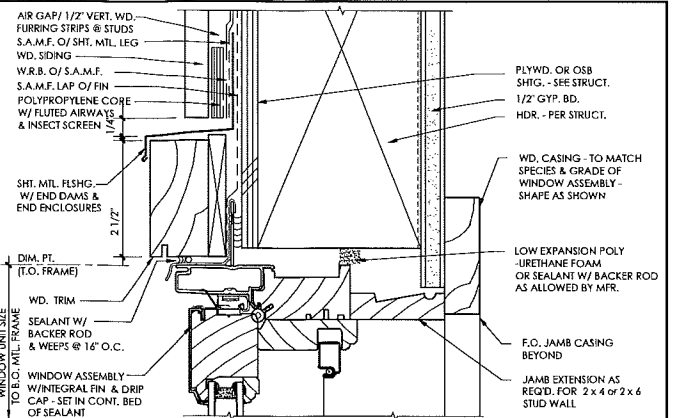
5 DOUBLE HUNG WINDOW JAMB DETAIL
SCALE: 6" = 1' - 0"



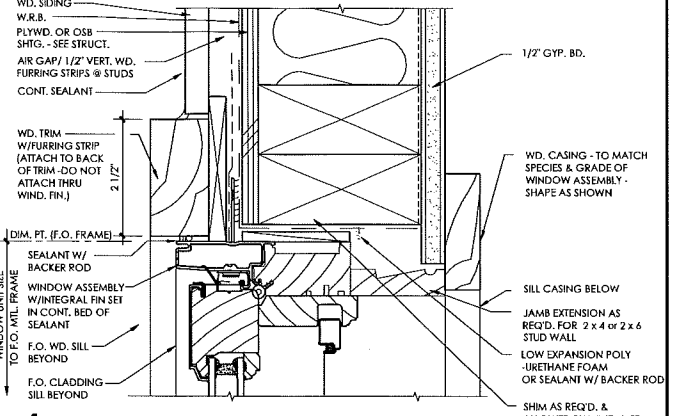
8 UPPER / LOWER SASH INTERFACE DETAIL
SCALE: 6" = 1' - 0"



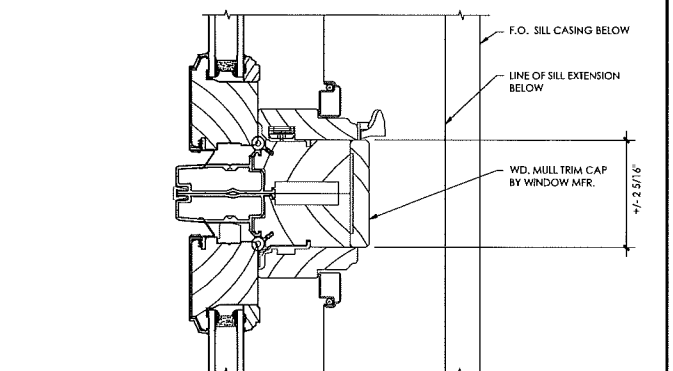
11 DOUBLE HUNG WINDOW SILL DETAIL
SCALE: 6" = 1' - 0"



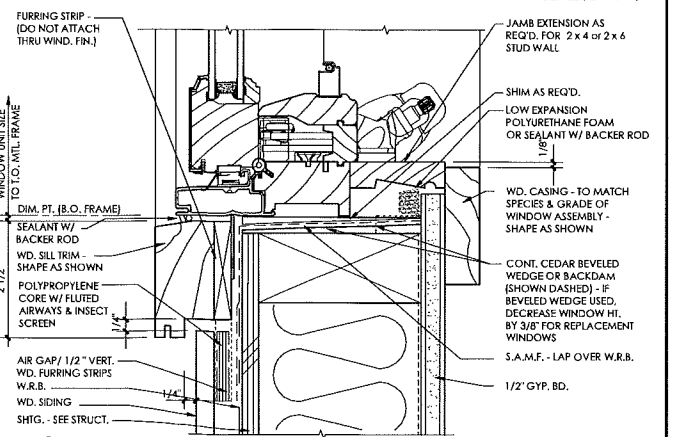
1 CASEMENT WINDOW HEAD DETAIL
SCALE: 6" = 1' - 0"



4 CASEMENT WINDOW JAMB DETAIL
SCALE: 6" = 1' - 0"



7 CASEMENT WINDOW JAMB MULL DETAIL
SCALE: 6" = 1' - 0"



10 CASEMENT WINDOW SILL DETAIL
SCALE: 6" = 1' - 0"

project
Greenslade Residence Alterations
31710 NE Wand Rd.
Troutdale, OR 97060

C2 design
1332 SE 44th Ave.
Portland, OR 97215
503.520.8090

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Issue/Revisions	Issue date

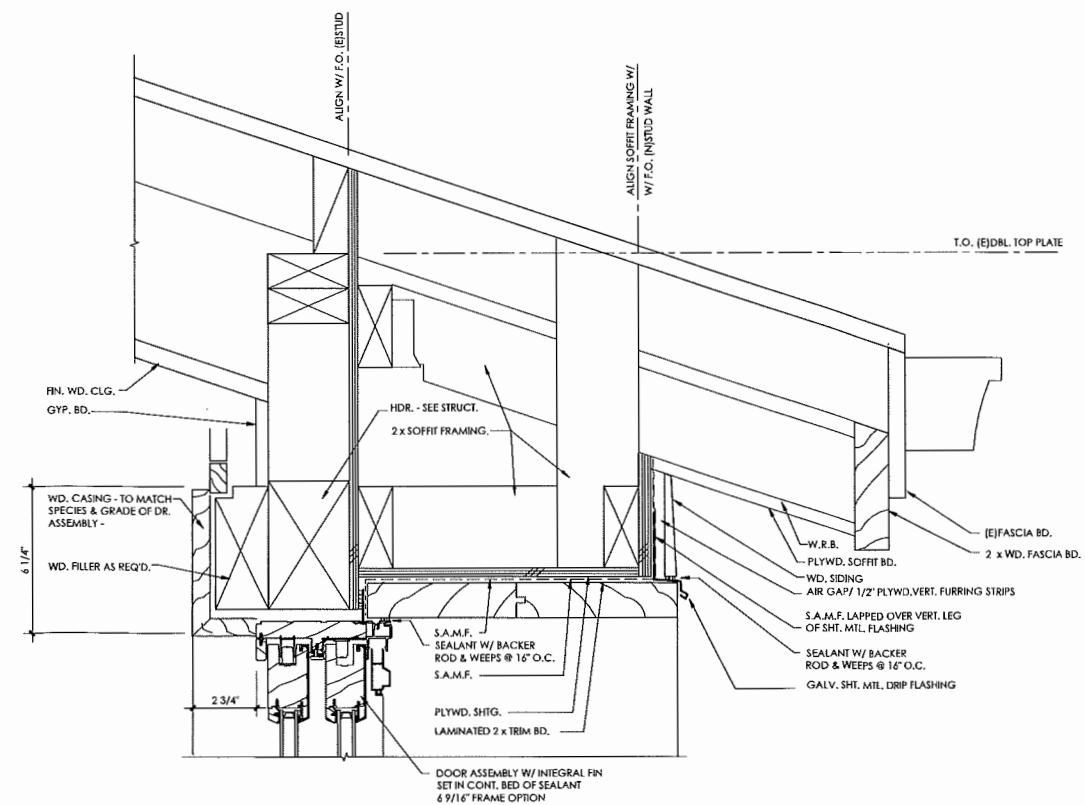
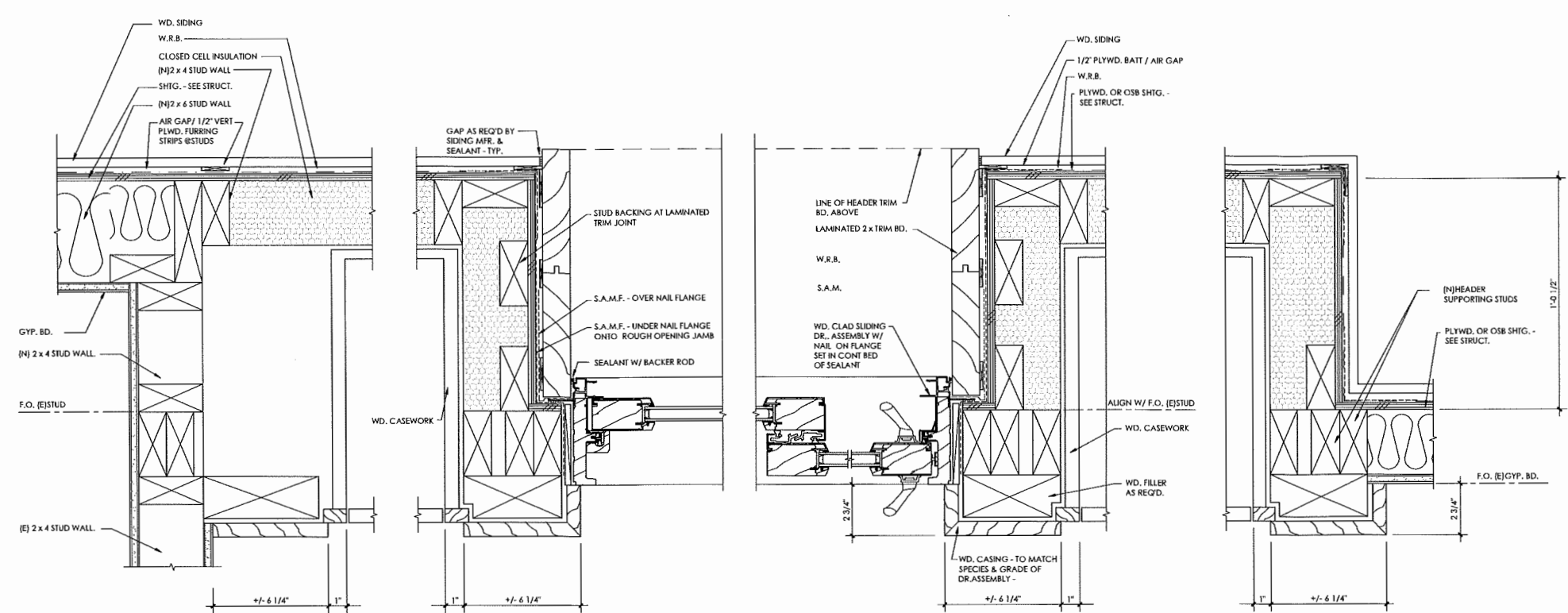
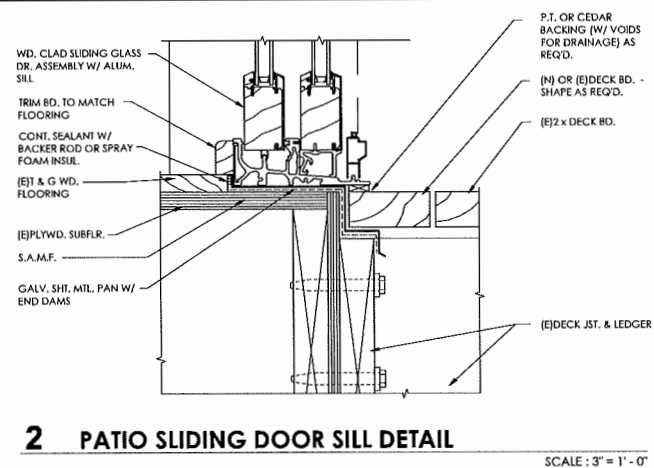
project no.

sheet title

DETAILS

sheet number

A9.1



project

Greenslade Residence Alterations

31710 NE Wand Rd.
Troutdale, OR 97060

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issue/revisions

project no.

issue date

sheet title
DETAILS

sheet number

A9.2

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DAVE
DN: cn=DAVE, o,
ou=HORN
CONSULTING
ENGINEERS LLC,
email=dave@hornce.c
om, c=US
Date: 2016.09.12
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CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS SHOWN ON THESE PLANS ARE ACCURATE WITH ACTUAL FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BRIDGED TO THE EXTENT OF USE AS MUCH AS THEY ARE OBSERVED.

DISCLAIMER: THE SIGNATURE AND SEAL FOR THESE STRUCTURAL DRAWINGS ARE VALID ONLY WHEN ACCOMPANIED BY A DEVELOPMENT AND SET SPECIFIC SET OF STRUCTURAL CALCULATIONS PREPARED BY HORN CONSULTING ENGINEERS LLC AND SEALED WITH A SET SEAL AND SIGNED BY THE ENGINEER WHOSE NAME APPEARS ON THESE PLANS. CONSTRUCTION SHALL BE PERFORMED EXACTLY AS SHOWN AND APPROVED BY THE LOCAL JURISDICTION.

3110 NE WAND RD
TROUTDALE, OR 97060

SHEAR WALL
SCHEDULE /
STRUCTURAL
NOTES

REVISIONS:

DATE: 9/12/16
SCALE:
DRAWN: JFG
JOB NO: C2D-16-01

SO

STRUCTURAL NOTES

CODE: 2014 O.S.S.C. AND 2014 O.R.S.C.

DESIGN LOADS:

- DEAD LOAD - AS REQUIRED
- LIVE LOAD - 40 PSF
- SNOW LOAD - 25 PSF
- SEISMIC - D1 SEISMIC DESIGN CATEGORY PER O.R.S.C.
- WIND - ASCE 7 BOPH 3-SEC GUST EXP. C
- SOIL BEARING - 8000 PSF ASSUMED

EARTHWORK:

- EXCAVATE TO LINES & LEVELS SHOWN ON DRAWINGS. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED NATIVE SANDS

CONCRETE:

- REFERENCE SPECIFICATION - ACI 301 PLANT MIX PER ASTM C94.
- STRENGTH:
 - A. GROUND FLOOR SLABS - 3000 PSI AT 28 DAYS
 - B. FOOTINGS, WALLS 2500 PSI @ 28 DAYS
- REINFORCING - ASTM A615, GRADE 60. LAP BARS AS SHOWN ON PLAN WITH MIN. LAP OF 44 BAR DIAMETERS. PROVIDE 24" HOOKS AT CORNERS.
- BOLTS:
 - A. ANCHOR BOLTS - ASTM A307
 - B. EXPANSION BOLTS - HILTI HIT-100-BOLT-TZ. SPECIAL INSPECTION REQUIRED.
 - C. ADHESIVE ANCHORS - HILTI-RE 800-SD OR SIMPSON SET-XP. SPECIAL INSPECTION REQUIRED.
- COVER - AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS.
 - A. CONCRETE PLACED AGAINST EARTH - 3"
 - B. FORMED CONCRETE AGAINST EARTH - 2"
 - C. SECOND FLOOR SLAB - 6"
- FINISH - PER ARCHITECT
- SUBMITTALS - (4 COPIES)
 - A. MIX DESIGNS PER IRC 1803
 - B. REINFORCING SHOP DRAWINGS

CARPENTRY:

- REFERENCE SPECIFICATION - IRC CHAPTER 23.
- LIMBER - DOUGLAS FIR WITH MOISTURE CONTENT PER SPECIFICATION. ALL IN CONTACT WITH CONCRETE TO BE PRESURE PRESERVATIVE TREATED, GRADE AS FOLLOWS:
 - A. POSTS AND BEAMS 6X AND GREATER - DF, NO 1
 - B. POSTS AND BEAMS 4X SMALLER - DF, NO 2 OR BETTER
 - C. STUDS - DF, STUD GRADE OR BETTER
 - D. PLATES & SILLB - DF NO. 2 PT. AT CONCRETE SLAB.
 - E. KILN DRIED DF, STANDARD TYPICAL
- SHEATHING - PLYWOOD, ORIENTED STRANDBOARD OR APPROVED EQUAL.
 - A. ROOF & WALL SHEATHING - APA 2410. THICKNESS & NAILING PER PLAN.
 - B. FLOOR SHEATHING - APA - 4874. THICKNESS AND NAILING PER PLAN.
- PLYWOOD WEB JOISTS - TRUS JOIST T3 SERIES OR APPROVED EQUAL. BRIDGING, BLOCKING & ERECTION BRACING PER MANUFACTURER'S RECOMMENDATION.
- GLUE LAMINATED BEAMS - DOUGLAS FIR, COMBINATION 24F-V4, FABRICATED WITH WATER PROOF GLUE, FINISH PER PROJECT SPECIFICATIONS.
- P.T. GLUE LAMINATED BEAMS - EUS 24F-V5M / SP, FABRICATED WITH WATER PROOF GLUE, FINISH PER PROJECT SPECIFICATIONS.
- GLUE LAMINATED COLUMNS - DOUGLAS FIR, COMBINATION 24F-V8, FABRICATED WITH WATER PROOF GLUE, FINISH PER PROJECT SPECIFICATIONS.
- PARALLEL BEAMS - 2X6 BY TRUS JOIST.
- TIMBERSTRAND BEAMS - 3-1/2", USE BY TRUS JOIST.
- TIMBERSTRAND BLOCKING - LSL 1-3/4" BY TRUS JOIST.
- CONNECTIONS - SIMPSON STRONG-TIE OR USP, GALVANIZED.
- FRAMING - PER INDUSTRY & CODE STANDARDS FOR ALL DETAILS NOT SHOWN. REFER TO IRC SECTIONS 2334, 2335 AND 2336.
- NAILING - USE COMMON TYPE NAILS. MINIMUM NAILING PER IRC TABLE NO. 23-1.0 UNLESS NOTED OTHERWISE ON PLANS.

COMMON WIRE NAIL	PNEUMATIC NAIL DIAMETER	MINIMUM NAIL LENGTH	NAIL APPLICATION
30D COMMON	.0307" P-NAIL	4-1/2"	3X DECKING
40D COMMON	.0275" P-NAIL	5"	4X DECKING
20D COMMON	.0357" P-NAIL	4"	FRAMING
16D COMMON	.0362" P-NAIL	3-1/2"	FRAMING
10D COMMON	.0469" P-NAIL	3"	FRAMING
N/A	.0469" P-NAIL	2-3/8"	FLR SHEATHING
8D COMMON	.0319" P-NAIL	2-1/2"	ROOF SHEATHING
N/A	.0362" P-NAIL	3-1/2"	STRAPS

- DRYING - PRIOR TO INSTALLATION OF GYPSUM WALL BOARD, DRY COMPLETED TO A MAXIMUM MOISTURE CONTENT OF 5%.
- SUBMITTALS - SHOP DRAWINGS, 4 COPIES.
- PREFABRICATED WOOD TRUSSES:
 - A. REFERENCE STANDARD - ANSI / TPI 1
 - B. PERFORMANCE REQUIREMENTS - PROVIDE WOOD TRUSSES DESIGNED AND FABRICATED TO SUPPORT THE LOADS SHOWN WITH A TOTAL LOAD DEFLECTION LESS THAN L/360.
- SUBMITTALS - (3 COPIES)
 - A. STRUCTURAL CALCULATIONS STAMPED BY AN ENGINEER REGISTERED IN OREGON & SHOP DRAWINGS SHOWING ALL FABRICATION, ERECTION & INSTALLATION DETAILS.
 - B. UNLESS NOTED OTHERWISE, ALL BEAMS & GIRDER TRUSSES TO BE SUPPORTED AT ENDS BY:
 - A. MULTIPLE STUDS EQUAL TO BEAM WIDTH (TRIPLE STUD MIN) WHEN LOCATED IN WALL. CONTINUE ON ALL FLOORS DOWN TO FOUNDATION WITH SOLID BLOCKING AT FLOORS. CONN STUDS TOGETHER WITH 16D @ 12" O.C.
 - B. SOLID POST EQUAL TO BEAM WIDTH WHEN FREE STANDING. EXTEND CONTINUOUS FOR FULL HEIGHT DOWN TO SOLID BEARING.

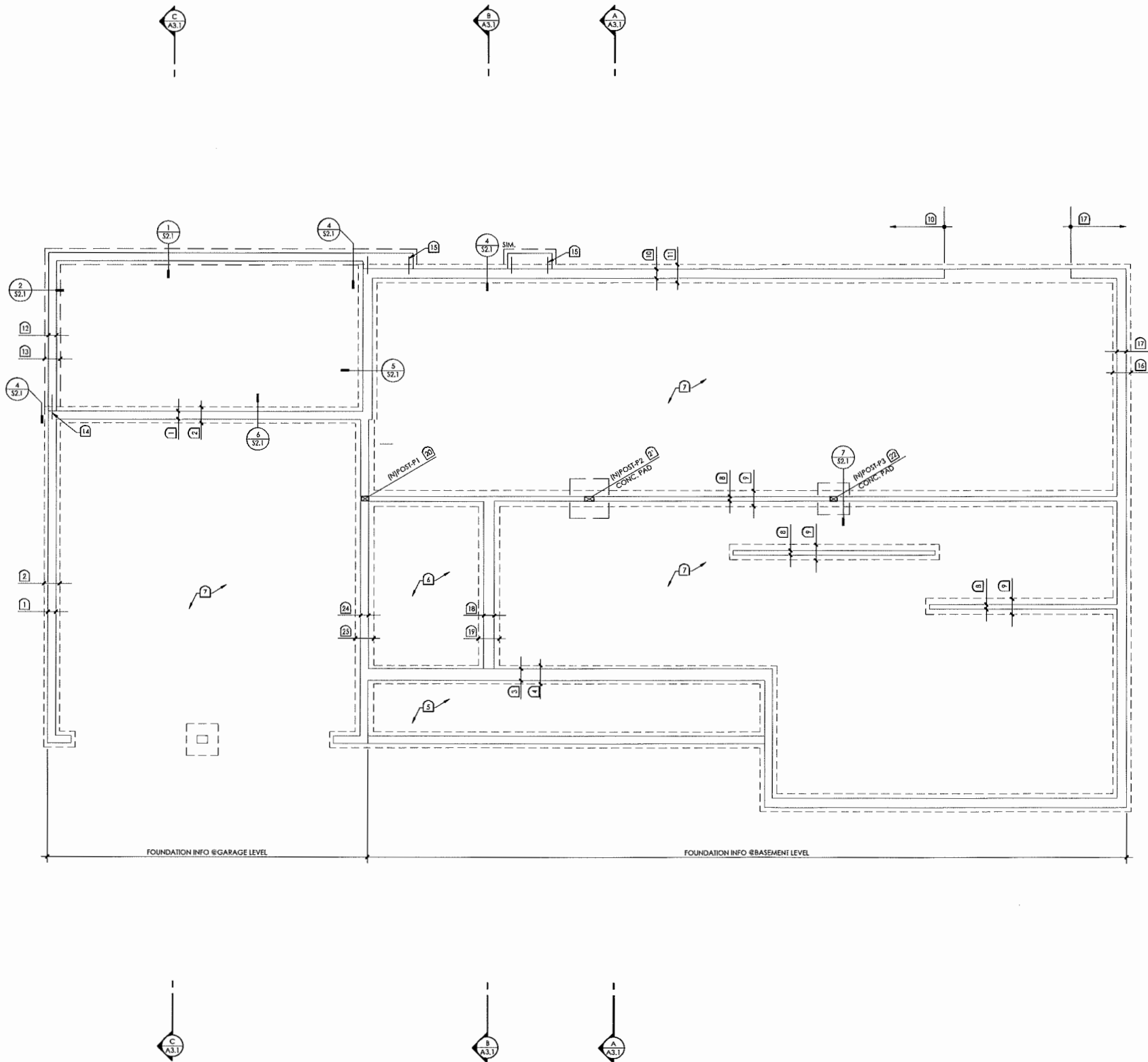
SHEAR WALL SCHEDULE (1-13)

MARK	REF NOTES: (13)	Note: (2)	EDGE NAILING	FIELD NAILING	SILL TO CONCRETE	SILL TO WOOD	SHEAR TRANSFER
	SHEATHING	NAIL SIZE	SPACING	SPACING	CONNECTION, NOTE: (3)	CONNECTION, Note: (1)	CLIPS (8)
A	3/4" OSB (1) SIDE (6)	8d	6"	12"	1/2" DIA. TITEN ANCHORS OR 1/2" DIA. AB. @ 42" O/C	1/2" @ 6" O/C	A35 OR REC @ 24" O/C
B	3/4" OSB (1) SIDE (6)	8d	4"	12"	1/2" DIA. TITEN ANCHORS OR 1/2" DIA. AB. @ 24" O/C (12)	1/2" @ 4" O/C	A35 OR REC @ 18" O/C

NOTES:

- C-D, D-C SHEATHING, PLYWOOD PANEL SIDING AND OTHER GRADES COVERED IN PSI-95. ALL WALL CONSTRUCTION TO CONFORM TO OSSC TABLE 2306.41.
- USE COMMON WIRE NAILS FOR ALL WOOD SHEATHING AND COOLER NAILS FOR GYPSUM BOARD SHEATHING.
- AB, MINIMUM 1" EMBED INTO CONCRETE. 3"x3"x1/4" PLATE WASHERS REQ'D AT ALL SHEAR WALL AB.'s. N/A @ MASA ANCHORS.
- PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3X OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- 3X OR DBL 2X FRAMING AT ALL ADJOINING PANEL EDGES AND NAILS SHALL BE STAGGERED.
- ALL EDGES BLOCKED.
- COMMON WIRE NAILS.
- CLIP TO BE ATTACHED FROM CONTINUOUS BLOCKING TO TOP OF CONTINUOUS REINFORCING BARS.
- CLIPS ARE NOT REQUIRED AT GYP BD WALLS BUT BLOCKING IS ATTACHED PER THE TOENAILING SCHEDULE.
- SEE ATTACHED TYPICAL SHEARWALL DETAILS.
- SHEATHING TO BE STRUCTURAL 1 SHEATHING.
- VALUES ARE FOR FRAMING OF 1-F.
- SEE PLAN FOR WALLS WHERE SEISMIC DESIGN SHEAR IS GREATER THAN 350 PLF (ASD). 3X OR DBL 2X AT PANEL EDGES AND SILL. STAGGER NAILS. NAIL AND GLUE DBL 2X SILL TOGETHER W/ 10D GALVANIZED @ 4" O/C STAGGERED, OR USE A 3X.
- FOR WALLS WITH THE LARGER SILLS, ANCHOR BOLT SPACING MAY BE INCREASED BY A FACTOR OF 1.25 FROM THE TABLE ABOVE DUE TO THICKER SILLS.
- 1/4" PLY IS ACCEPTABLE IN LIEU OF 1/4" OSB

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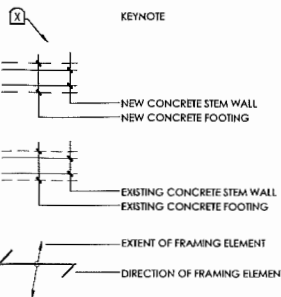
1 EXISTING AND NEW FOUNDATION PLAN

SCALE: 1/4" = 1' - 0"

FOUNDATION PLAN GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS WHERE DIMENSIONS NOT PROVIDED
- ANY DISCREPANCIES BETWEEN ARCH. DWGS. & STRUCT. DWGS. SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING
- ANY DISCREPANCIES BETWEEN THE STRUCT. DWGS. & IN-FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING
- REFER TO STRUCTURAL CALCULATIONS AND LAYOUT BY STRUCTURAL ENGINEER FOR ADDITIONAL INFO

FOUNDATION PLAN LEGEND



FOUNDATION PLAN KEYNOTES

[E] INDICATES EXISTING CONSTRUCTION, [N] INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.

- [E] CONC. STEM WALL - 6" WIDE
- [E] CONC. FOOTING - 6" x 12"
- [E] CONC. STEM WALL - 7" WIDE
- [E] CONC. FOOTING - 6" x 14"
- [E] COMPACTED FILL
- [E] PARTIALLY UNEXCAVATED AREA
- [E] CONC. SLAB
- [E] CONC. STEM WALL - 3 1/2" WIDE - FIELD VERIFY
- [E] CONC. FIG. - 6" x 14"
- [E] CONC. RET. WALL - 7" WIDE - FIELD VERIFY
- [E] CONC. FIG. - 6" x 14" - FIELD VERIFY
- CONC. STEM WALL - 6" WIDE
- CONC. STEM WALL - 6" x 12" CONT.
- STEEL DOWEL - AT [N] FOUNDATION/ [E] FOUNDATION INTERFACE
- STEEL DOWEL - AT [N] FOUNDATION/ [E] FOUNDATION INTERFACE
- [E] CONC. FIG.
- [E] CRIPPLE STUD WALL W/ CONC. STEM WALL
- [E] CONC. RET. WALL
- [E] CONC. FIG.
- POST - P1: 4 x 6 D.F.-L. #2 TO [E] CONC. STEM WALL
- POST - P2: 4 x 8 D.F.-L. #2 W/ CONC. PAD - 2'-6" x 2'-6" x 1'-0" W/ 3/4" S EA. WAY
- POST - P3: 4 x 6 D.F.-L. #2 W/ CONC. PAD - 2'-0" x 2'-0" x 10" W/ 2/4" S EA. WAY
- NOT USED
- [E] CONC. STEM WALL: +/- 3'-6" ABOVE FIN. GR OF PARTIALLY UNEXCAVATED AREA- FIELD VERIFY
- [E] CONC. FIG. - 6 x 14 - FIELD VERIFY

project

**Greenslade
Residence
Alterations**

31710 NE Wand Rd.
Troutdale, OR 97060

C2 design
1332 SE 44th Ave.
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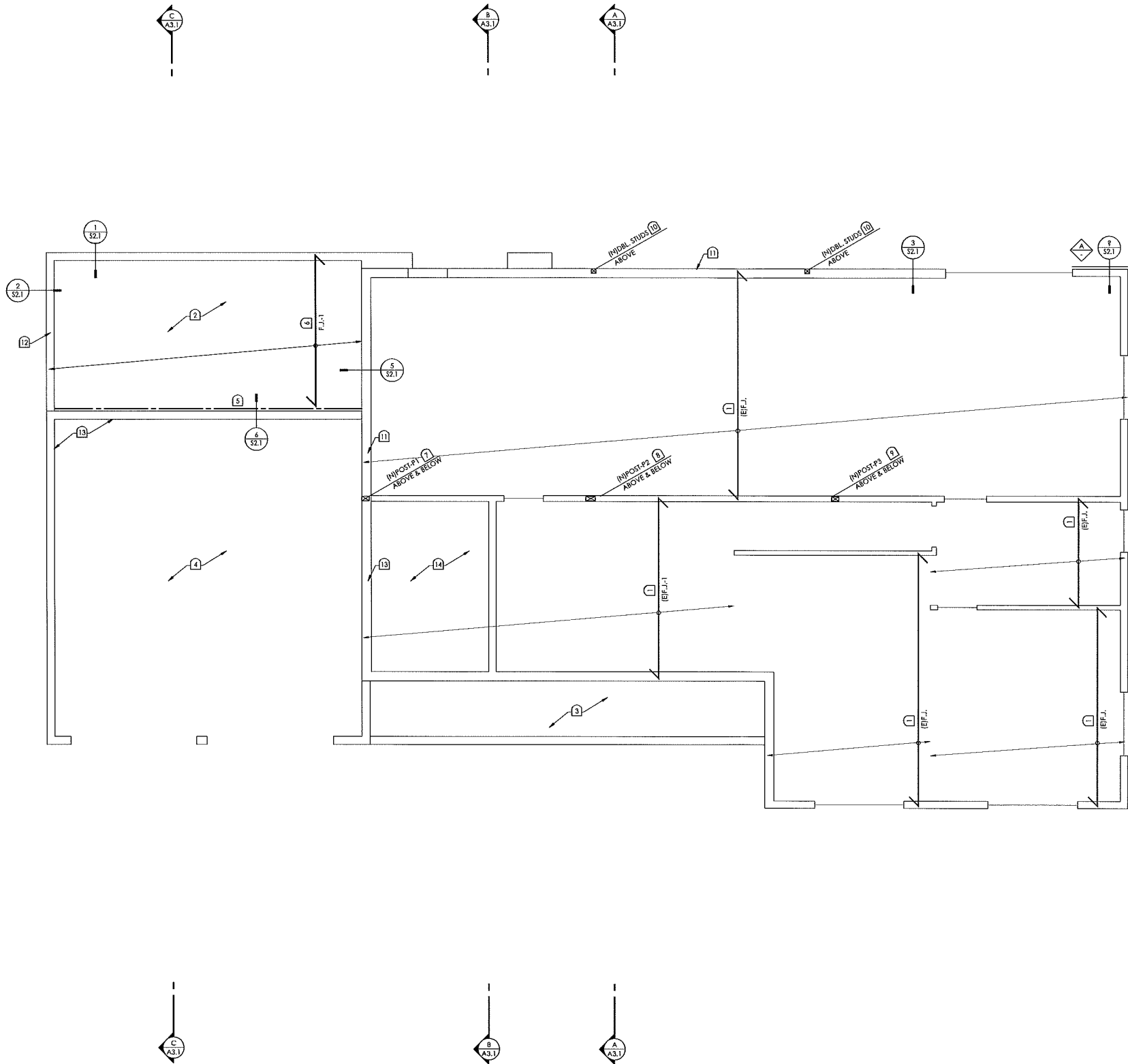
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**FOUND. PLAN
FLR. FRMG. PLAN**

sheet number

S1.1

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1 EXISTING AND NEW MAIN LEVEL FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

FLOOR FRAMING PLAN GENERAL NOTES

- A. REFER TO ARCHITECTURAL PLANS WHERE DIMENSIONS NOT PROVIDED
- B. ALL DIMENSIONS ARE FROM F.O. STUD OR F.O. CONCRETE U.N.O.
- C. ANY DISCREPANCIES BETWEEN ARCH. DWGS. & STRUCT. DWGS. SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING
- D. ANY DISCREPANCIES BETWEEN THE STRUCT. DWGS. & IN-FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING

FLOOR FRAMING PLAN LEGEND

- KEYNOTE
- EXTENT OF FRAMING ELEMENT
- DIRECTION OF FRAMING ELEMENT
- INDICATES SHEAR WALL TYPE PER SCHEDULE SHI. S.O
- INDICATES HOLDOWN TYPE ONE PER EA. END OF WALL SEGMENT PER SCHED. SHI. S.O
- WALL BELOW FRAMING LEVEL
- WALL ABOVE FRAMING LEVEL
- HEADER OR BEAM
- EXISTING HEADER OR BEAM

MAIN LEVEL FLOOR FRAMING PLAN KEYNOTES

- (E) INDICATES EXISTING CONSTRUCTION, (N) INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.
- (E)F.J.- 2 x 10 @ 16" O.C.
 - 3/4" GLUED T & G FLYWD. OR OSB, MIN. SPAN RATING 24/16, FACE GRAIN PERPENDICULAR TO FRAMING - TYP., 10d RING SHANK NAILS @ 6" O.C. EDGES, 12" O.C. FIELD
 - (E)CONC. SLAB OVER EXCAVATED FILL
 - (E)CONC. SLAB
 - LEDGER - 2 x 8 P.T.D.F. TO (E)STUD WALL
 - F.J.-1: 2 x 8 @ 16" O.C. W/ LU HGR.
 - POST- P1: 4 x 6 D.F.-L. #2 TO WD. SILL PLATE OF (E)GARAGE CONC. STEM WALL
 - POSTS- P2: 4 x 8 D.F.-L. #2 ABOVE & BELOW W/ SOLID 2 x BLKG. @ FLR. LEVEL
 - POSTS- P3: 4 x 6 D.F.-L. #2 ABOVE & BELOW W/ SOLID 2 x BLKG. @ FLR. LEVEL
 - DBL. STUDS ABOVE W/ SOLID BLKG. TO RLT HT. RETAINING WALL PLATE BELOW
 - (E)CONC. RET. WALL
 - CONC. STEM WALL
 - (E)CONC. STEM WALL
 - (E)UNEXCAVATED AREA

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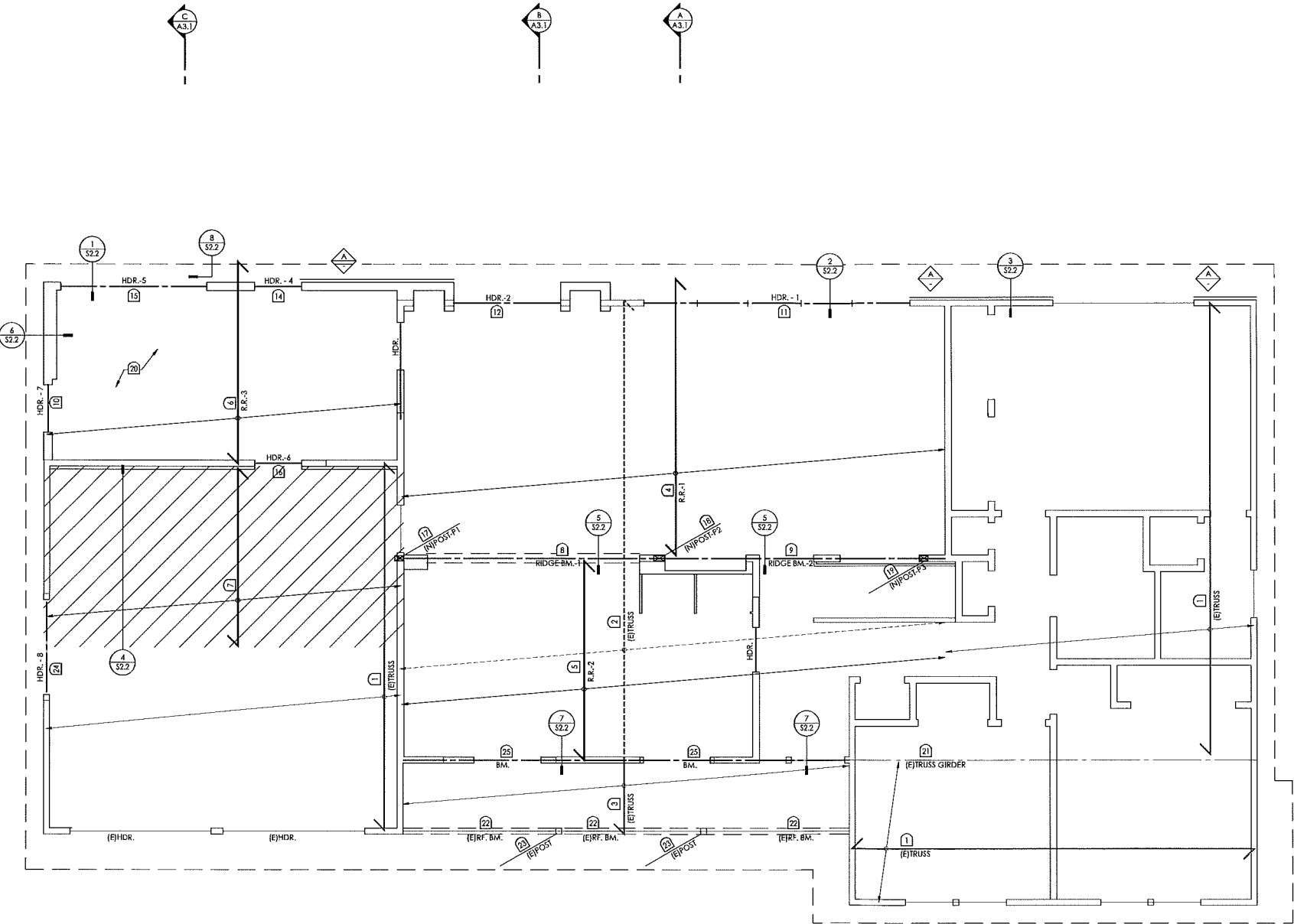
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issue/revisions

project no. issue date

sheet title
**FOUND. PLAN
FLR. FRMG. PLAN**
sheet number

S1.2

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1 EXISTING AND NEW ROOF FRAMING PLAN



SCALE: 1/4" = 1' - 0"

ROOF FRAMING PLAN GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS WHERE DIMENSIONS NOT PROVIDED
- ALL DIMENSIONS ARE FROM F.O. STUD U.N.O.
- ANY DISCREPANCIES BETWEEN ARCH. DWGS. & STRUCT. DWGS. SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING
- ANY DISCREPANCIES BETWEEN THE STRUCT. DWGS. & IN-FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PROCEEDING

ROOF FRAMING PLAN LEGEND

- KEYNOTE
- EXTENT OF FRAMING ELEMENT
- DIRECTION OF FRAMING ELEMENT
- INDICATES SHEAR WALL TYPE PER SCHEDULE SH1, S.O.
- INDICATES HOLDOWN TYPE ONE PER EA. END OF WALL SEGMENT PER SCHED. SH1, S.O.
- WALL BELOW FRAMING LEVEL
- WALL ABOVE FRAMING LEVEL
- HEADER OR BEAM
- EXISTING HEADER OR BEAM

ROOF FRAMING PLAN KEYNOTES

- (E) INDICATES EXISTING CONSTRUCTION, (N) INDICATES NEW CONSTRUCTION. ALL NOTES ARE FOR NEW WORK UNLESS OTHERWISE NOTED.
- (E)IMPR. WD. TRUSS TO REMAIN
 - (E)TRUSS CAPACITY TO BE MODIFIED INTO NON-BEARING CAPACITY BY REMOVAL OF BOTTOM & INTERMEDIATE CHORDS (SHOWN DASHED)
 - PORTION OF (E)TRUSS TO REMAIN AND MODIFIED TO RETAIN LOAD BEARING CAPACITY - SEE DETL. 7/52.2
 - R.R.-1; 2 x 10 @24" O.C. W/LSU HGR. TO RIDGE
 - R.R.-2; 2 x 10 @24" O.C. W/LSU HGR. TO RIDGE & TO (E)TRUSS GIRDER(WHERE OCCURS)
 - R.R.-3; 2 x 8 @24" O.C. W/LU HGR.
 - OVERFRAMING - 2 x 4 @24" O.C.
 - RIDGE BM.-1; 3 1/2 x 12 G.L.B.
 - RIDGE BM.-2; 3 1/2 x 12 G.L.B.
 - NOT USED
 - HDR.-1; 3 1/2 x 12 G.L.B. W/ (2) 2 x 4 TRIMMERS @EA. END
 - HDR.-2; 4 x 8 #2 D.F.
 - NOT USED
 - HDR.-4; 4 x 8 #2 D.F.
 - HDR.-5; 5 1/2 x 6 G.L.B.
 - HDR.-6; 4 x 8 #2 D.F.
 - POST P-1; 4 x 6 #2 D.F. W/ EPC42 POST CAP
 - POST P-2; 4 x 8 #2 D.F. W/ PC42 POST CAP
 - POST P-3; 4 x 6 #2 D.F. W/ PC42 POST CAP
 - 1/2" CDX PLYWD. OR OSB W/ 24/0 MIN. SPAN RATING, FACE GRAIN PERPENDICULAR TO FRAMING - TYP., 8d @6" O.C. EDGES, 12" O.C. FIELD
 - (E)TRUSS GIRDER - FIELD VERIFY
 - (E)RF. BM. - 4 x 10
 - (E)POST
 - REPLACE (E)HDR @MODIFIED (E)OPENING
 - 4 x 12 ON TOP OF (E)DBL. TOP PLATES - REMOVE DBL. TOP PLATES @ (N)WINDOW OPENINGS

project

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THE ORIGINAL SHEET SIZE OF THIS DRAWINGS IS 22" x 34" IF THIS SHEET IS NOT 22" x 34", IT IS NOT TO SCALE. DO NOT SCALE DRAWING

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client

Jim & Camille Greenslade

PERMIT SUBMITTAL

9.14.2016

issue/revisions

issue/revisions	issue date

project no.

issue date

sheet title

**ROOF FRAMING
STRUCT. DETAILS**

sheet number

S1.3

CONTRACTOR SHALL VERIFY THAT ALL EXISTING CONDITIONS SHOWN ON THESE PLANS ARE ACCORDING TO ACTUAL FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OF RECORD AS SOON AS THEY ARE DISCOVERED.

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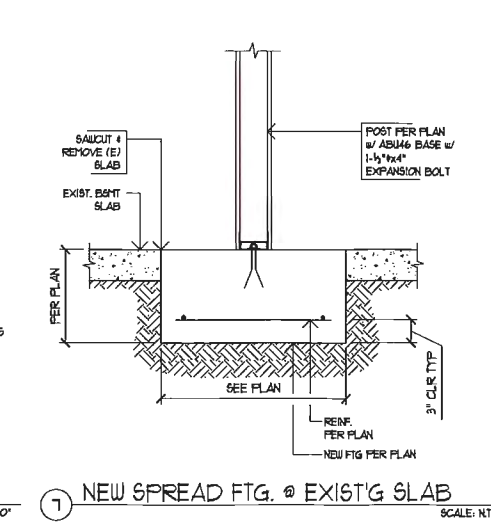
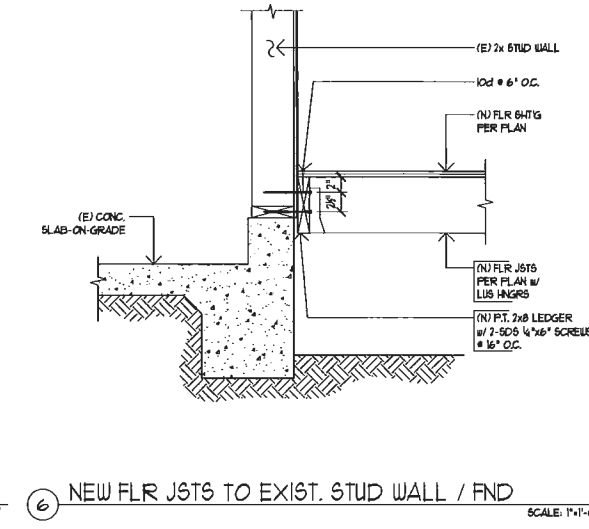
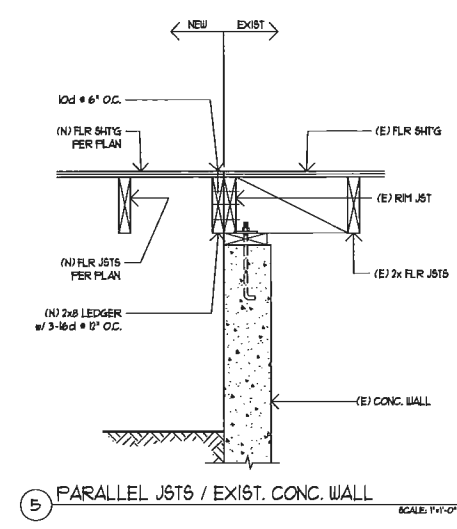
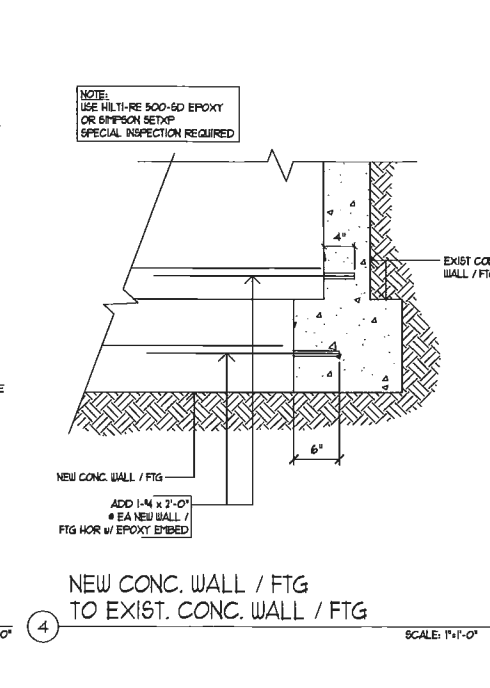
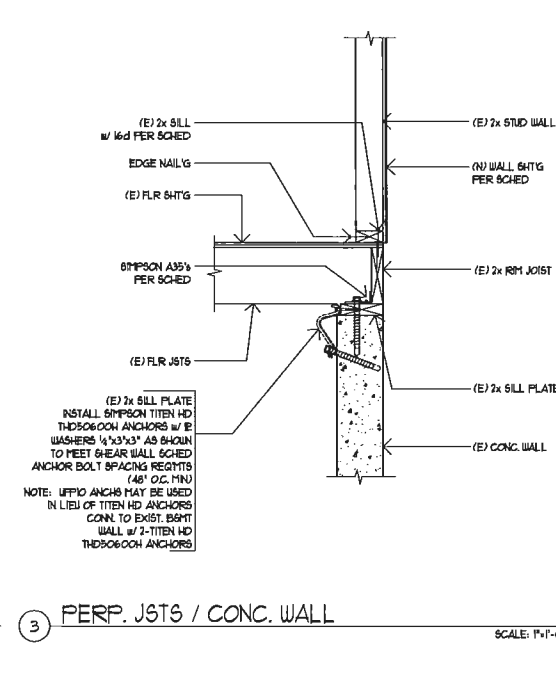
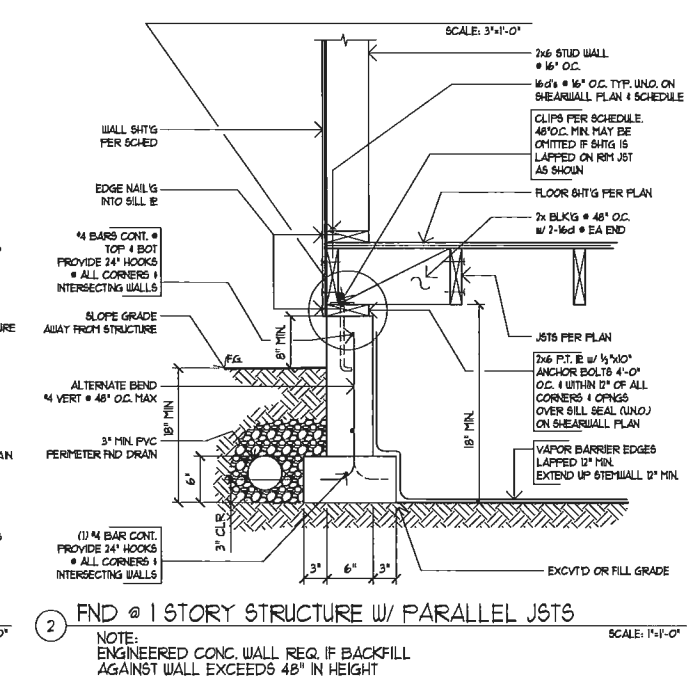
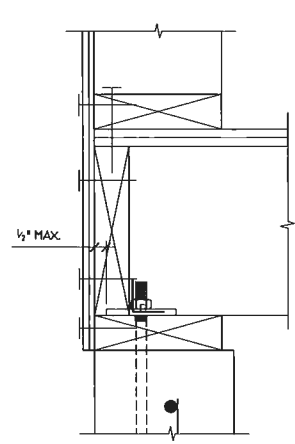
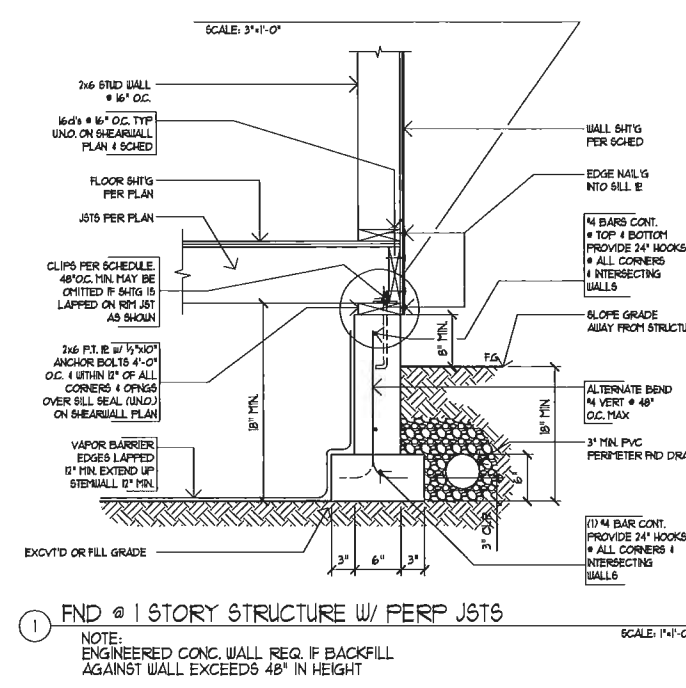
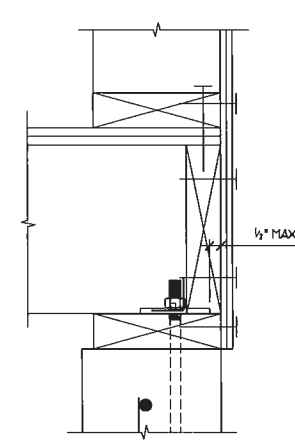
DETAILS

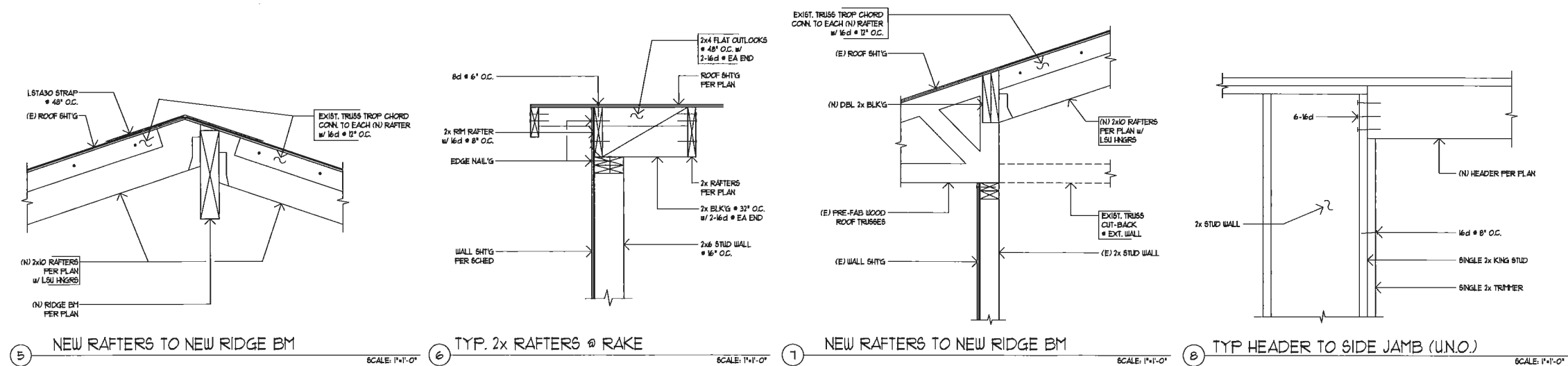
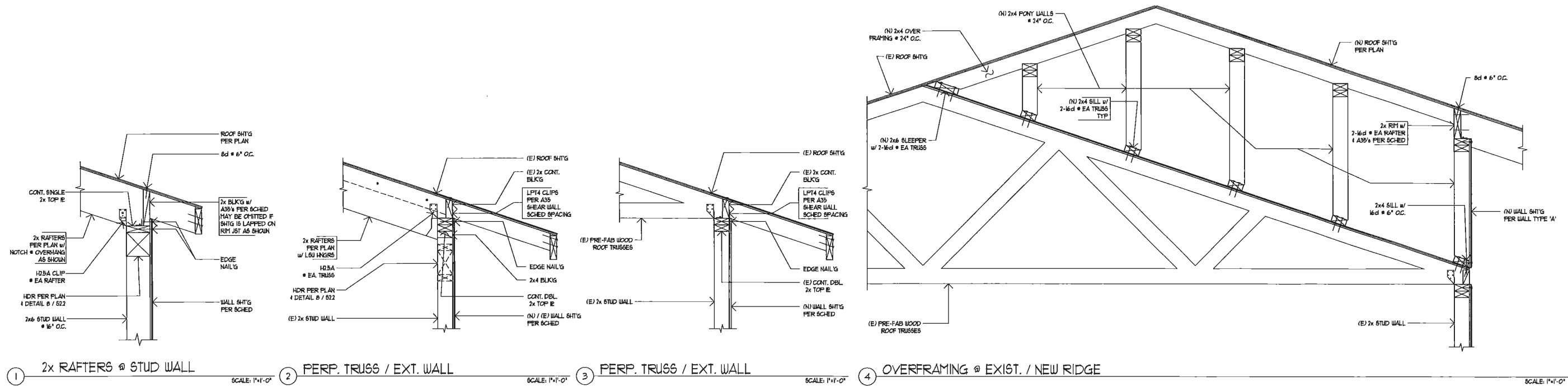
REVISIONS:

DATE: 9.12.16
SCALE: 1" = 1'-0"
DRAWN: JFG
JOB NO: C2D-16-01

S2.1

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CONTRACTOR SHALL VERIFY THAT ALL WORK IS IN ACCORDANCE WITH THE PERMITS AND ANY OTHER LOCAL, STATE OR FEDERAL REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD AS SOON AS THEY ARE DISCOVERED.

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DETAILS

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S2.2

ORIGINAL SHEET SIZE: 22x34

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Model # 8101-A138 Internet #204382683



the great outdoors by Minka Lavery

Kirkham 1-Light Bronze
Outdoor Wall-Mount Lantern

★★★★★ (2)

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Product Overview

"the great outdoors by Minka Lavery" Wall-Mount 1-Light Outdoor Lantern is fully Dark Sky approved. Featuring a hammered metal shade and backplate, the finish is Aspen bronze. Install this delightfully rustic fixture in any outdoor location.

- Rugged yet light weight, the aluminum housing is perfect for installation outdoors
- Recessed bulb is fully shielded, IDA dark sky approved
- Uses one 60-Watt medium base bulb, also accepts CFL
- ETL listed for installation in wet locations
- [Click here for more information on Electronic Recycling Programs](#)

Info & Guides[Installation Guide](#)[Instructions / Assembly](#)[Use and Care Manual](#)[Warranty](#)

You will need Adobe® Acrobat® Reader to view PDF documents. [Download a free copy from the Adobe Web site.](#)

Specifications

Dimensions

Product Depth (in.)	10.5
Product Height (in.)	6
Product Length (in.)	10.5
Product Width (in.)	8.5

Details

Exterior Lighting Product Type	Outdoor Lanterns
Fixture Color/Finish	Aspen Bronze
Fixture Material	Aluminum
Glass/Lens Type	No glass/lens
Included	Hardware Included
Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included
Maximum Bulb Wattage	60 W
Maximum Wattage (watts)	60
Number of Bulbs Required	1
Outdoor Lighting Features	Dark Sky,Weather Resistant
Power Type	Hardwired
Product Weight (lb.)	.9lb
Recommended Light Bulb Shape Code	A19
Returnable	90-Day
Style	Classic

Warranty / Certifications

Certifications and Listings	ETL Listed
Manufacturer Warranty	One (1) year limited warranty

[How can we improve our product information? Provide feedback.](#)