



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

NSA
ROAD/UTILITY
EXPEDITED
APPLICATION

PROPERTY

Nearest Address Adjacent to 2445 NE CORBETT Nearest Cross Street NE CORBETT Hill Rd

PROPOSED DEVELOPMENT (check all that apply)

- ☐ Road Closure Gates Length _____ Height _____ ft
- ☐ New traffic detection devices, vehicle weighting devices, or signal boxes. (Does not include signs) Size _____ (120 sf max) Height _____ ft (12 ft max)
- ☐ New guardrails, guardrail ends, wire strand or woven wire access control fences.
- ☐ Air, weather, water or similar research & monitoring facility attached to existing structure Size _____ (120 sf max) Height _____ ft (12 ft max)
- ☒ New underground utility facility located inside road, utility, or railroad rights-of-way or previously disturbed easement. Ditch Width X (36 in max)
Amount of excavation for non-linear facilities X (20 cubic yds. Max)
- ☐ Trail Reconstruction. May include up to 1,000 foot reroute.
- ☐ Decommission non-paved road: Includes ripping road surface, barriers, revegetation
- ☐ Develop new or modify existing aboveground/overhead utility facilities
Size _____ (120 sf max) Height _____ (12 ft. max)
- ☐ Replace existing aboveground/overhead utility facilities in the same location and no more than 15% larger than the existing facilities.
- ☐ New antennas/support structures necessary for public service on existing wireless communication poles and towers if size is minimum necessary to provide the service.
- ☐ Outdoor lights ☐ Other: _____

APPLICANT

Name Multnomah County Transp Division Phone 503 988 0181
Mailing Address 1600 SE 190th Fax _____
City Portland State OR Zipcode 97233 e-mail riad.alharithi@multco.us

OWNER (if work is to occur on private property)

Name Row Phone _____
Address _____ City _____ State _____ Zipcode _____

I authorize the applicant to make this application.

Property Owner Signature

NOTE: By signing this form, the property owner or property owner's agent is granting permission for Planning Staff to conduct site inspections on the property.

☐ If no owner signature above, a letter of authorization from the owner is required.

For Staff Use

505467
CASE
NUMBER

State ID #

IN 4E26CB

Alt Acct. #

NA

DATE
SUBMITTED

10/11/18

ZONING

GGRS

MCC CITATION
(For Qualifying Use)

MCC 38.1010(A)(1)

Related Case No

Open UR/ZV

By: _____

Work in Road
Rights-of-Way

Type:

☐ State
☒ County
Permit# _____

Instructions for applicants:

The checklist below asks you to confirm facts or conditions related to the subject property and your proposal. The numbered paragraphs in bold represent code requirements or criteria for development in the National Scenic Area (NSA). Those criteria are addressed when you check a box below each numbered paragraph. By checking a box, you are confirming that the corresponding statement applies to your project. Staff concurrence is indicated by initials in the boxes along the right column of this form. Please ensure that you check a box under every numbered paragraph or staff will not be able to process this application under the Expedited Review Process.

Scenic Resources

1. Any application involving Interstate 84 must first be reviewed for consistency with the I-84 Corridor Strategy by the ODOT lead I-84 Strategy Team.

☒ This application does not involve Interstate 84. *The I-84 Corridor Strategy does not apply.*

☐ This application does involve Interstate 84. The proposal has been reviewed for consistency with the I-84 Corridor Strategy by the I-84 Strategy Team. *The proposal is consistent with the I-84 Corridor Strategy.*

Staff initial:

HP

Attach agency confirmation

2. The colors of structures topographically visible from key viewing areas shall be dark earth-tones found at the specific site or the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval. This guideline shall not apply to additions, which may match the color of existing buildings.

☒ The application is for an addition to or modification of an existing structure, or placement of a new structure on land that is not topographically visible from a Key Viewing Area (KVA). The KVA(s) the structure is visible from are _____. The attached site plan illustrates how the structure is topographically screened from these KVA(s). *This criterion has been met.*

Note to applicant: Show on the site plan the location of the terrain feature or landform that screens the structure with arrows identifying the vantage point from which the site is viewed from the KVA(s).

☐ The application is for an addition to or modification of an existing structure, or placement of a new structure on land that is topographically visible from one or more key viewing areas. As shown in the attached color chip and site photograph, the above ground portion of the structure will be dark earth tones that are found at the site or surrounding landscape. *This criterion has been met.*

Staff initial:

HP

See NSA Handout #4: Expedited Development Review Process, for list of KVAs

Attach plan

Attach color chip(s) & photo(s) of structure & surrounding landscape

3. Structures topographically visible from key viewing areas shall use low or non-reflective building materials.

☒ The application does not involve a structure that is topographically visible from a key viewing area. *This criterion has been met.*

Staff initial:

HP

- Attach
building
material
samples**

GP

h k

*Attach
elevations or
photo of
structure*

***See NSA
Handout #5:
Designing
for Approval***

- Page 3

Recreation Resources

6. The development shall not detract from the use and enjoyment of established recreation sites on adjacent parcels.

Staff initial:

HP

- ☒ The attached site plan labels the uses on adjacent parcels. There is no established recreation site on an adjacent parcel. *This criterion is not applicable.*
- ☐ The attached site plan labels show that the property is adjacent to at least one established recreation site, but does not detract from the use and enjoyment of the site. The proposed development will not generate noise, dust, or odors at levels significant enough to impact the use. Also, the site plan shows that the proposed development would not interfere with access to the adjacent recreation site(s). *This criterion has been met.*

**Label
adjacent
uses on
attached
site plan**

Cultural Resources

7. The expedited development review process shall only be used to review proposed development that does not require a reconnaissance survey or historic survey.

Staff initial:

HP

Note to applicant: If an Indian tribe sends a letter in response to the application indicating that the proposal affects a treaty right or cultural resource, then the application can not be reviewed using the expedited development review process.

Reconnaissance Survey

Proposed development does not require a reconnaissance survey if it meets any of the following (check at least one that applies):

- ☐ Is limited to the modification, expansion, replacement, or reconstruction of existing buildings and structures.
- ☐ Will not disturb the ground (e.g. new overhead wires on existing poles)
- ☒ Occurs on a site that was previously disturbed by human activities where the depth and extent of the grading does not exceed prior ground disturbance.
- ☐ Involves minor ground disturbance, as defined by depth and extent (e.g. fence construction, installation of new meter, etc.)

Width _____ x Length _____ x Depth _____

Note to applicant: The project will not qualify for expedited review if the Gorge Commission disagrees that the activity results in minor disturbance.

- ☐ Occurs on a site that has been adequately surveyed in the past, or has been identified by the Gorge Commission, USFS Archaeologist, or private archaeologist as having a low probability of containing cultural resources. *This criterion has been met.*

**Show area
and type of
disturbance
on plan**

Attach survey

Historic Survey

A historic survey is not required for the following activities (check at least one):

- ☒ There are no structures 50 years old or older on the property.
- ☐ There is/are structures 50 years old or older; however, the application does not alter the structure(s), nor does it compromise features of the surrounding area that help define the historic character of the structure(s).
This criterion has been met.

Natural Resources

8. The development is outside buffer zones for wetlands, streams, rivers, ponds, and lakes. This guideline shall not apply to development located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained.

Staff initial:

HP

Show rights-of-way or easement boundary on site plan

- ☒ The proposal is for development located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained. *This criterion is not applicable.*
- ☐ As shown on the attached site plan, proposed development is outside buffer zones for wetlands, streams, rivers, ponds, and lakes. *The criterion has been met.*

9. The development will not adversely impact sensitive wildlife or plant species or is at least 1,000 feet from known sensitive wildlife areas or sites (excluding sensitive aquatic species, deer winter range, and turkey habitat) and known sensitive plants. This guideline shall not apply to development that does not disturb the ground or is located inside road, utility or railroad rights-of-way or easements that have been previously disturbed and regularly maintained.

Staff initial:

HP

- ☐ As shown on the attached site plan and confirmed by planning staff, the proposed development is over 1,000 feet from known sensitive wildlife areas or sites (excluding sensitive aquatic species, deer winter range, and turkey habitat) and known sensitive plants. *This criterion has been met.*
- ☒ The proposed development does not disturb the ground or is inside road, utility or railroad rights-of-way or easements or other areas that have been previously disturbed and regularly maintained. *This criterion is not applicable.*
- ☐ Although proposed development is within 1,000 feet of a known sensitive wildlife area or site, the Oregon Department of Fish and Wildlife (for GMA lands) or U.S. Forest Service (SMA lands) has determined that the area or site is not active, that development will not compromise the integrity of the wildlife area or site, or that development will not occur during a time of year that the wildlife species are sensitive to disturbance.
- ☐ Although proposed development is within 1,000 feet of known sensitive plants, a representative of the Oregon Natural Heritage Program or an expert in botany or plant ecology has determined that development will not occur within 200 feet of a sensitive plant species.

See land use staff for agency contacts

Attach agency confirmation

NOTICE OF PRELIMINARY DECISION

In accepting this application for expedited review, the Planning Director is granting preliminary approval of the development. The Gorge Commission, U.S. Forest Service, Indian tribal governments, and property owners within 750 feet of the subject tract will be given 14 days to provide comments. If no comments are received, the decision shall become final at the close of business on the 14th day. If substantive written comments are submitted, the Planning Director will either modify the decision to address the comments and re-issue it for a 14-day appeal period or re-direct the application to full review if comments establish that the proposed development is not eligible for expedited review.

Comments must be directed to the applicable approval criteria. Those in **bold** above are listed in §38.7100 of the County code. Failure to provide comments during the comment period will preclude a right to appeal.

Conditions/Limitations of Approval

1. If, during construction, cultural or historic resources are discovered, the applicant/owner shall immediately cease development activities and inform the Multnomah County Land Use Planning Division, Columbia River Gorge Commission, and the U.S. Forest Service of any discovery pursuant to MCC 38.7045(L) & (M), or MCC 38.7050(H) as applicable. Once halted, construction activities shall not resume until these standards have been satisfied.
2. Approval of this land use permit is based upon the statements made in this application and attached materials. No work shall occur under this permit other than that which is specified in these documents.
3. Development of structures must be commenced within 2 years of the date of this decision, and completed within 2 years of the date of commencement. The property owner may request an extension of either of these timeframes, as provided in MCC 38.0700. Such a request must be made prior to expiration of the permit.

This decision is final at the close of the comment period unless comments are received. If no comments are received, the effective date of the decision is *Oct 29, 2018 at 4pm*

FOR STAFF USE

At close of the comment period (check one that applies):

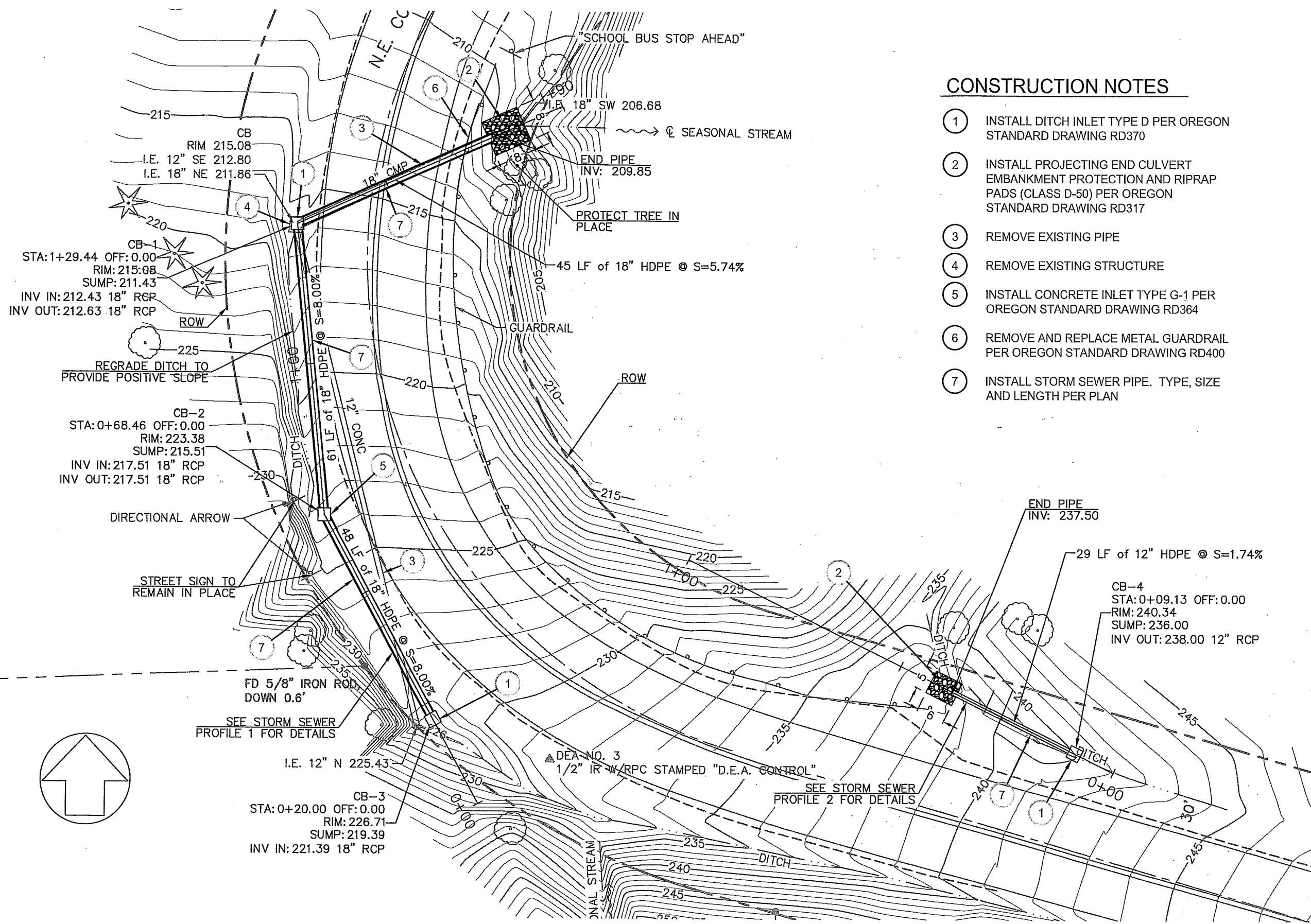
- ☐ No substantive written comments were received. The decision is final.
- ☐ Substantive written comments were received. The Planning Director will issue a letter addressing the comments and may modify this preliminary decision.
- ☐ Written comments were submitted showing that the proposed development is not eligible for expedited review. The project will be reviewed using the full development review process.

Any comments received are included in the County records for this application.

- ☐ Fill out NSA DR Database Form for Gorge Commission and include copy with file.

Staff initial: _____

Date: _____



CONSTRUCTION NOTES

1. INSTALL DITCH INLET TYPE D PER OREGON STANDARD DRAWING RD370
2. INSTALL PROJECTING END CULVERT EMBANKMENT PROTECTION AND RIPRAP PADS (CLASS D-50) PER OREGON STANDARD DRAWING RD317
3. REMOVE EXISTING PIPE
4. REMOVE EXISTING STRUCTURE
5. INSTALL CONCRETE INLET TYPE G-1 PER OREGON STANDARD DRAWING RD364
6. REMOVE AND REPLACE METAL GUARDRAIL PER OREGON STANDARD DRAWING RD400
7. INSTALL STORM SEWER PIPE. TYPE, SIZE AND LENGTH PER PLAN

STORM SEWER PLAN
CORBETT HILL ROAD
DATE: 8/17/2018
SCALE: 1:20

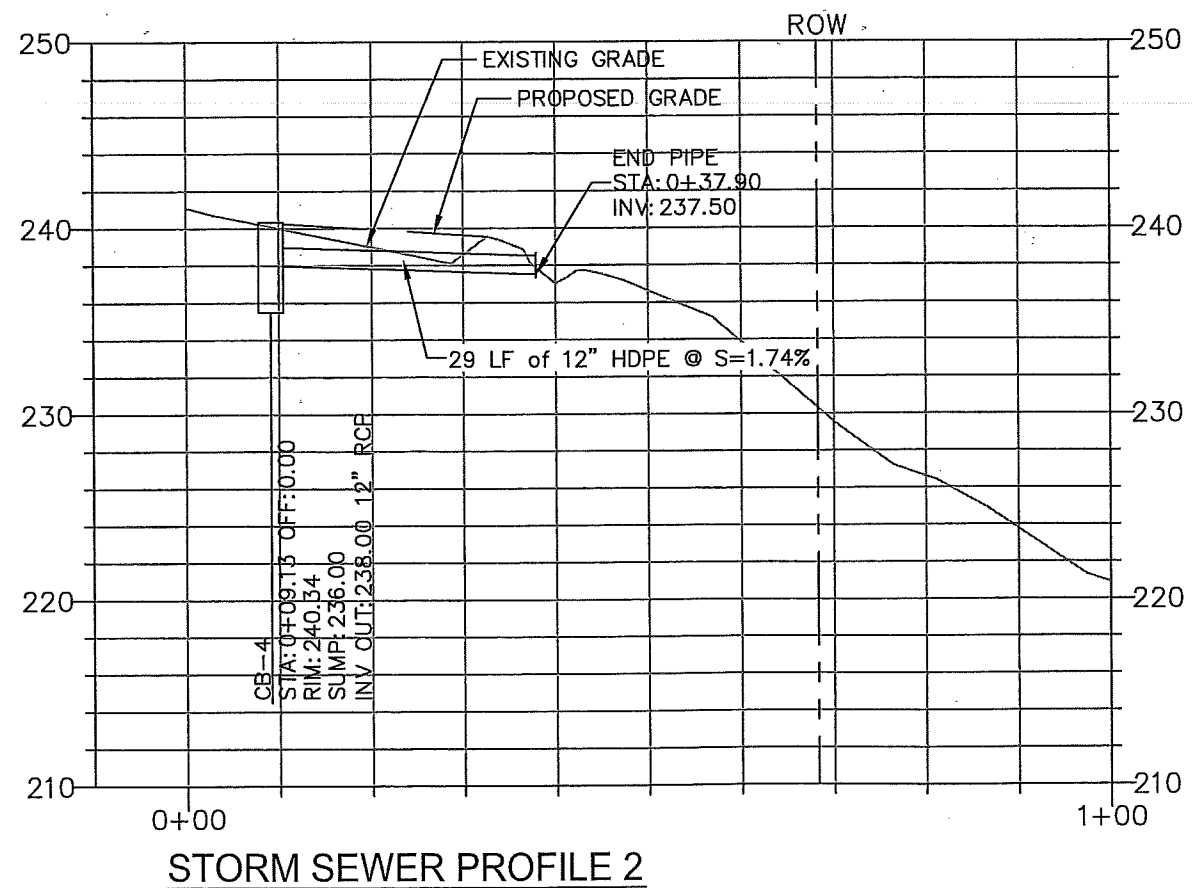
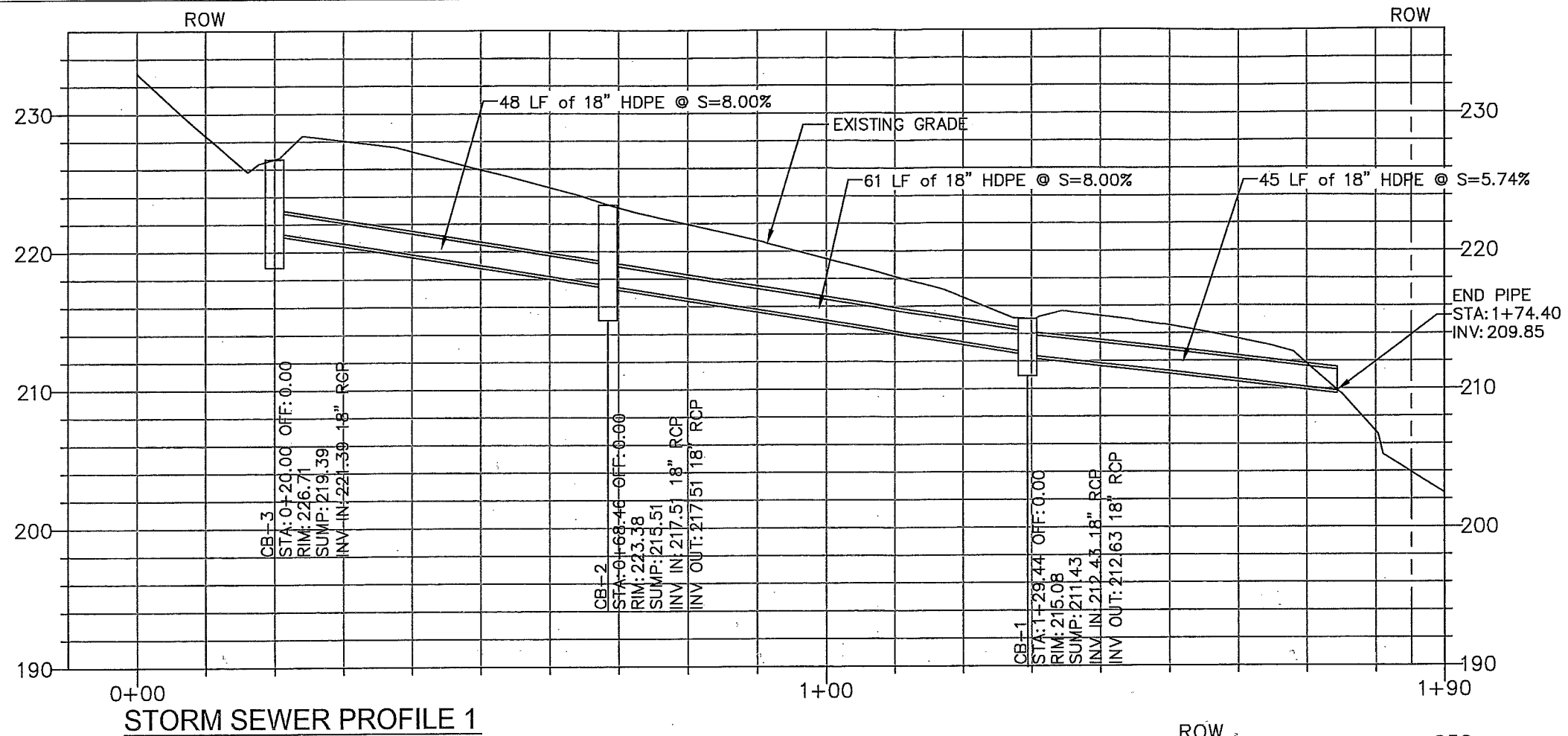
MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999

DESIGNED BY: RB
DRAFTED BY: RB
CHECKED BY: RA

IAN B. CANNON P.E.
COUNTY ENGINEER

REVISIONS		DATE	

Sheet No. 1 OF 8



REVISIONS		DESIGNED BY:	RB
DATE:		DRAFTED BY:	RB
		CHECKED BY:	RA

Sheet No. 2 OF 8

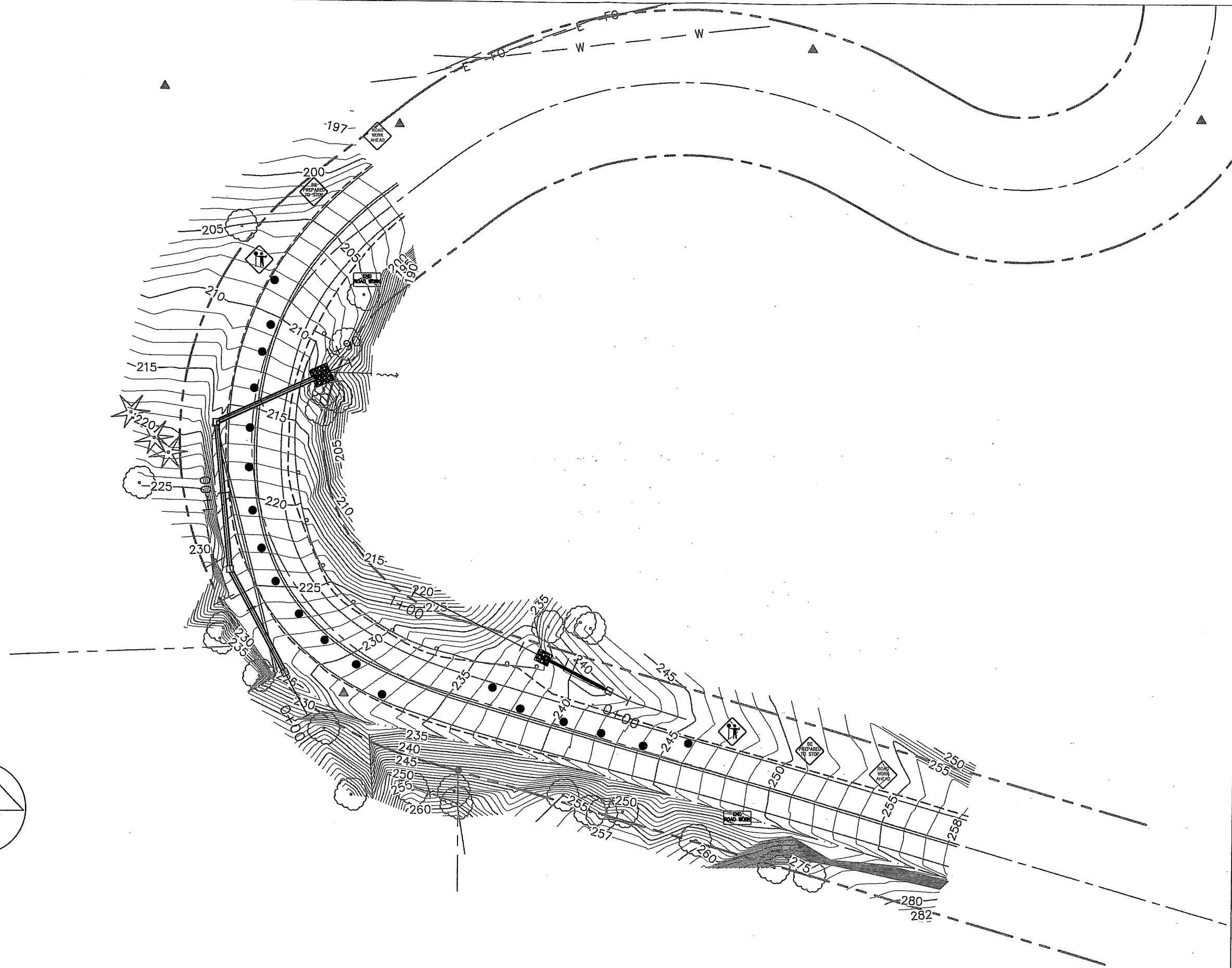
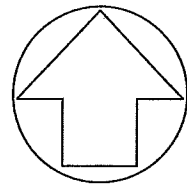
MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999

IAN B. CANNON P.E. COUNTY ENGINEER

STORM SEWER PROFILE

CORBETT HILL ROAD

DATE: 8/17/2018 SCALE: 1:20



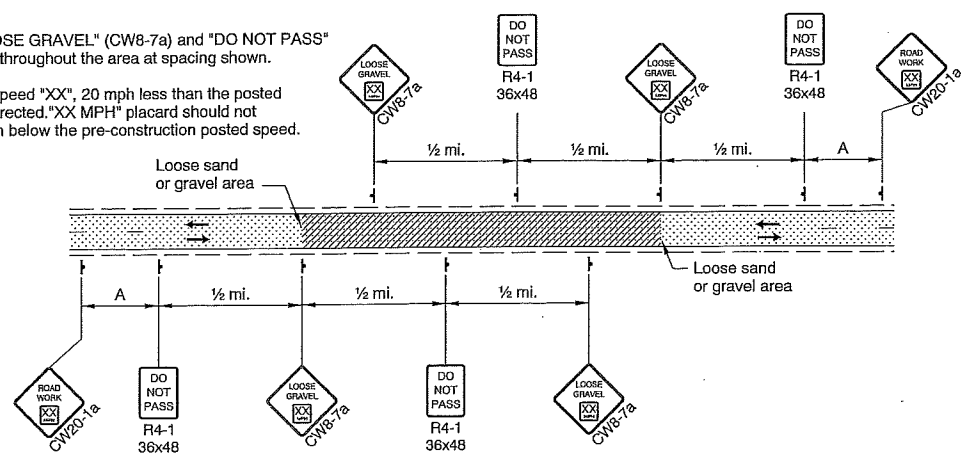
REVISIONS		DESIGNED BY:		MULTNOMAH COUNTY		TRAFFIC CONTROL PLAN	
DATE:		RB		DEPARTMENT OF COMMUNITY SERVICES		CORBETT HILL ROAD	
		DRAFTED BY:		TRANSPORTATION DIVISION			
		RB		1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999			
		CHECKED BY:		IAN B. CANNON P.E.		COUNTY ENGINEER	
		RA				DATE: 8/17/2018	
Sheet No.						SCALE: 1:40	
3 OF 8							

tm850.dgn 01-JAN-2018

09501

NOTE:

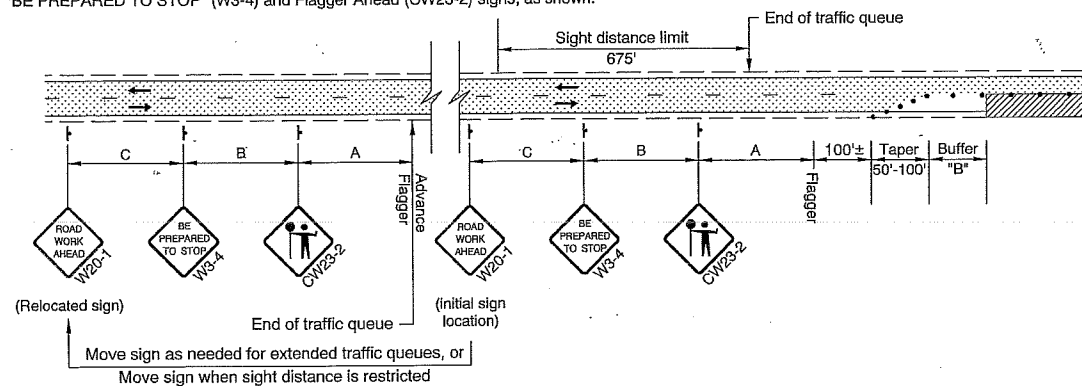
- Continue "LOOSE GRAVEL" (CW8-7a) and "DO NOT PASS" (R4-1) signing throughout the area at spacing shown.
- Use advisory speed "XX", 20 mph less than the posted speed, or as directed. "XX MPH" placard should not exceed 20 mph below the pre-construction posted speed.



2-LANE, 2-WAY ROADWAY
LOOSE GRAVEL IN ROADWAY SIGNING

NOTES:

- Place Advance Flagger and additional signing when traffic queues extend beyond initial warning signing OR when sight distance is restricted.
- Place additional Tubular Markers for Flagger and Advance Flagger Stations according to FLAGGER STATION DELINEATION detail.
- Relocate initial "ROAD WORK AHEAD" (W20-1) sign in advance of additional "BE PREPARED TO STOP" (W3-4) and Flagger Ahead (CW23-2) signs, as shown.



ADVANCE FLAGGER FOR EXTENDED TRAFFIC QUEUES

GENERAL NOTES FOR ALL DETAILS:

- The "FLAGGER" (CW23-2) symbol sign shall be used only in conjunction with the "BE PREPARED TO STOP" (W3-4) sign.
- Cover existing passing zone signing, as directed.
- Install temporary striping as required.
- To determine Taper Length ("L") and Buffer Length ("B"), use the "MINIMUM LENGTHS TABLE" shown on Drg. No. TM800.
- To determine sign spacing A, B, and C, use "TRAFFIC CONTROL DEVICES (TCD) SPACING TABLE" on Drg. No. TM800.
- Install a "BICYCLES ON ROADWAY" (CW11-1) sign in advance of the closure when a bike lane is closed, or when the shoulder is closed and bikes are expected.

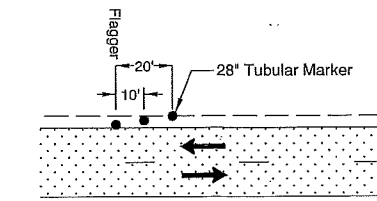
- 28" Tubular Markers on 20' max. spacing for flagger tapers and stations
- 28" Tubular Markers See TCD Spacing Table on TM800 for max. spacing.

- UNDER TRAFFIC
- UNDER CONSTRUCTION
- CONSTRUCTION UNDER TRAFFIC

To be accompanied by Drg. Nos. TM821

NOTE:

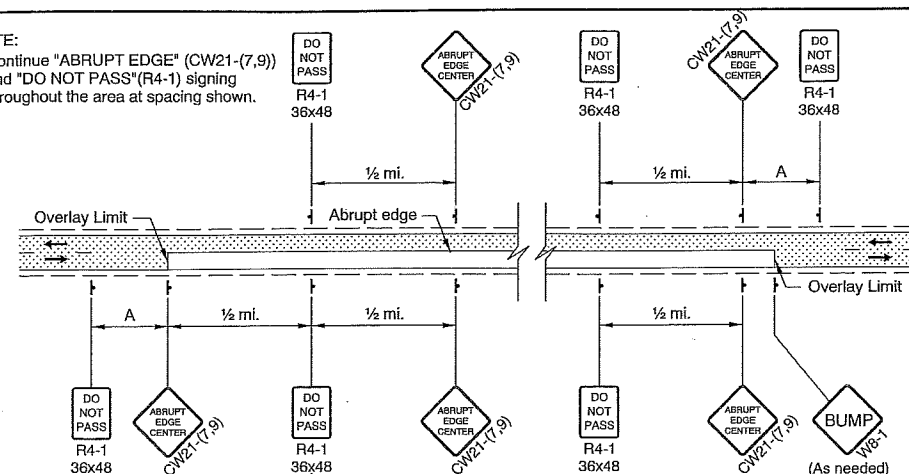
- Use a minimum of 3 tubular markers in shoulder taper on 10' spacing for flagger station delineation.



FLAGGER STATION DELINEATION

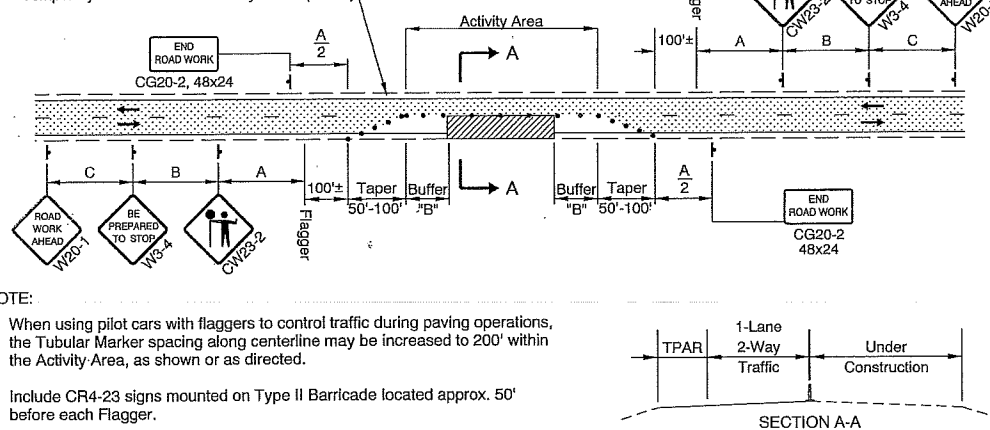
NOTE:

- Continue "ABRUPT EDGE" (CW21-7,9) and "DO NOT PASS" (R4-1) signing throughout the area at spacing shown.



2-LANE, 2-WAY ROADWAY
OVERLAY AREA SIGNING

Temporary Pedestrian Accessibility Route (TPAR)



NOTE:

- When using pilot cars with flaggers to control traffic during paving operations, the Tubular Marker spacing along centerline may be increased to 200' within the Activity Area, as shown or as directed.
- Include CR4-23 signs mounted on Type II Barricade located approx. 50' before each Flagger.
- Coordinate and control pedestrians movements through the TPAR using Flaggers, other TCM, or as directed. When the existing shoulder is greater than or equal to 4' wide, provide a minimum of 4' of width for the TPAR.

2-LANE, 2-WAY ROADWAY
ONE LANE CLOSURE

CALC. BOOK NO. N/A

BASELINE REPORT DATE 01-JAN-2018

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications

OREGON STANDARD DRAWINGS

2-LANE, 2-WAY ROADWAYS

2018

DATE 01-01-2018 REVISION DESCRIPTION REVISED DRAWING AND NOTES

Effective Date: June 1, 2018 - November 30, 2018

TM850

TRAFFIC CONTROL PLAN

CORBETT HILL ROAD

MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999



COUNTY ENGINEER

IAN B. CANNON P.E.

DATE: 8/17/2018 SCALE: 1:20

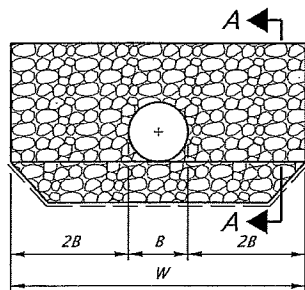
REVISIONS

DATE:

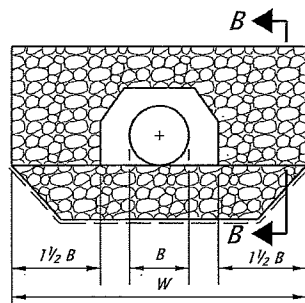
Sheet No.
4 OF 8

rd317.dgn 06-01-2017

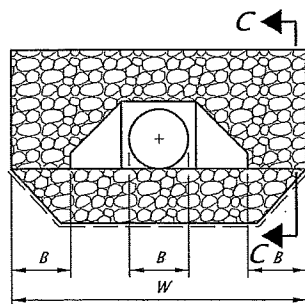
RD317



SLOPED OR PROJECTING END



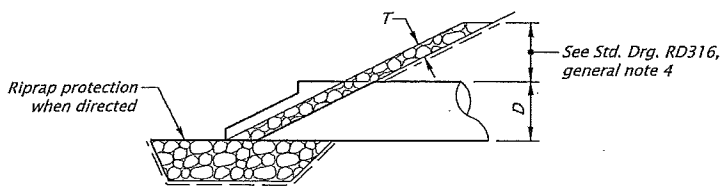
SLOPED END WITH SLOPE PAVING



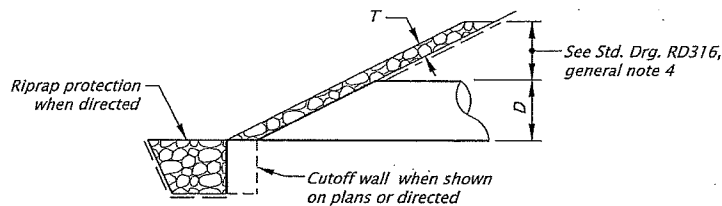
HEADWALL AND WINGWALLS

B = Diameter of circular barrel or span of arch pipe, box, or open-bottom arch.
D = Diameter of circular barrel or rise of arch pipe, box, or open-bottom arch.
T = Thickness of riprap blanket, see Table A.

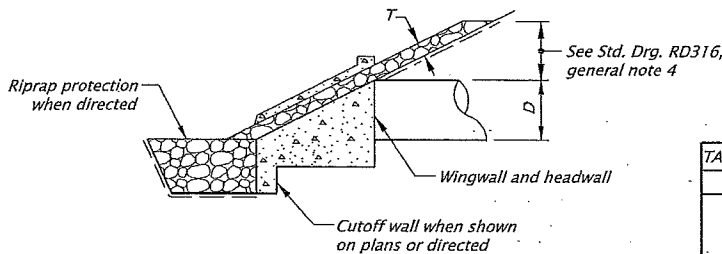
EMBANKMENT PROTECTION



SECTION A-A



SECTION B-B



SECTION C-C

TABLE A - Embankment Slope Protection	
Riprap Class	T Distance
50	12 Inches
100	18 Inches
200	24 Inches *
700	36 Inches *

* Riprap backing required between riprap and embankment

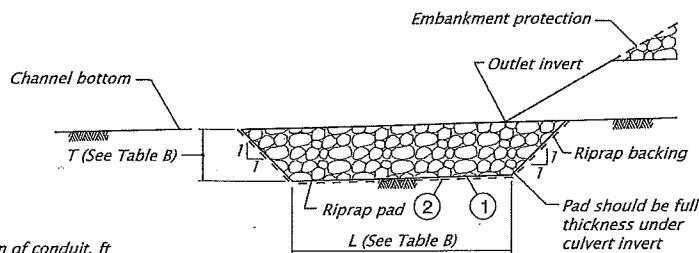
TABLE B - Riprap Pad Dimensions		
Riprap Class	L * (ft)	T (ft)
50	48 or 1.3	2.3
100	48 or 1.6	3.3
200	48 or 2.0	4.3
700	48 or 3.3	5.6

* L is the greater of 48 or the listed dimension.

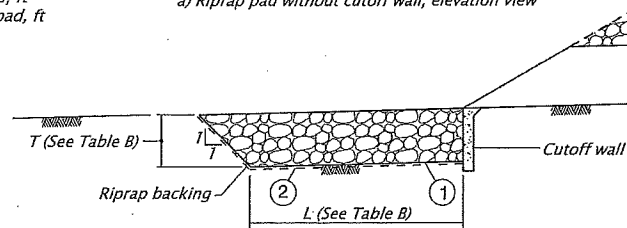
B = Diameter or span of conduit, ft
L = Length of bottom of riprap pad, ft
T = Thickness of riprap pad, ft
W = Width of top of riprap pad, ft

RIPRAP PAD NOTES:

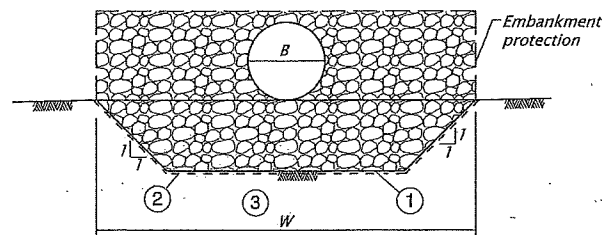
- 1 Do not excavate non-erodible rock in order to place riprap.
- 2 Use riprap backing under Class 200 and Class 700 loose riprap.
- 3 Top width (W) of the riprap pad is the larger of 5B or the width of the embankment slope protection.



a) Riprap pad without cutoff wall, elevation view



b) Riprap pad with cutoff wall, elevation view



c) Riprap pad, end view

RIPRAP PADS

GENERAL NOTES FOR ALL DETAILS:

1. See Std. Drg's. RD300 & RD304 for installation details.
2. Open ends of pipes normally require a site specific design, and may require special treatment (sloped ends, culvert embankment protection, paved end slopes, safety end sections, or other measures). See special details or Standard Drawings as called for on plans.

CALC. BOOK NO. N/A	BASELINE REPORT DATE 24-Nov-2015
NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications	
OREGON STANDARD DRAWINGS	
CULVERT EMBANKMENT PROTECTION and RIPRAP PADS	
2018	
DATE	REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: June 1, 2018 - November 30, 2018

RD317

DETAIL SHEET

CORBETT HILL ROAD

MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999



COUNTY ENGINEER

IAN B. CANNON P.E.

SCALE: 1:20

DATE: 8/17/2018

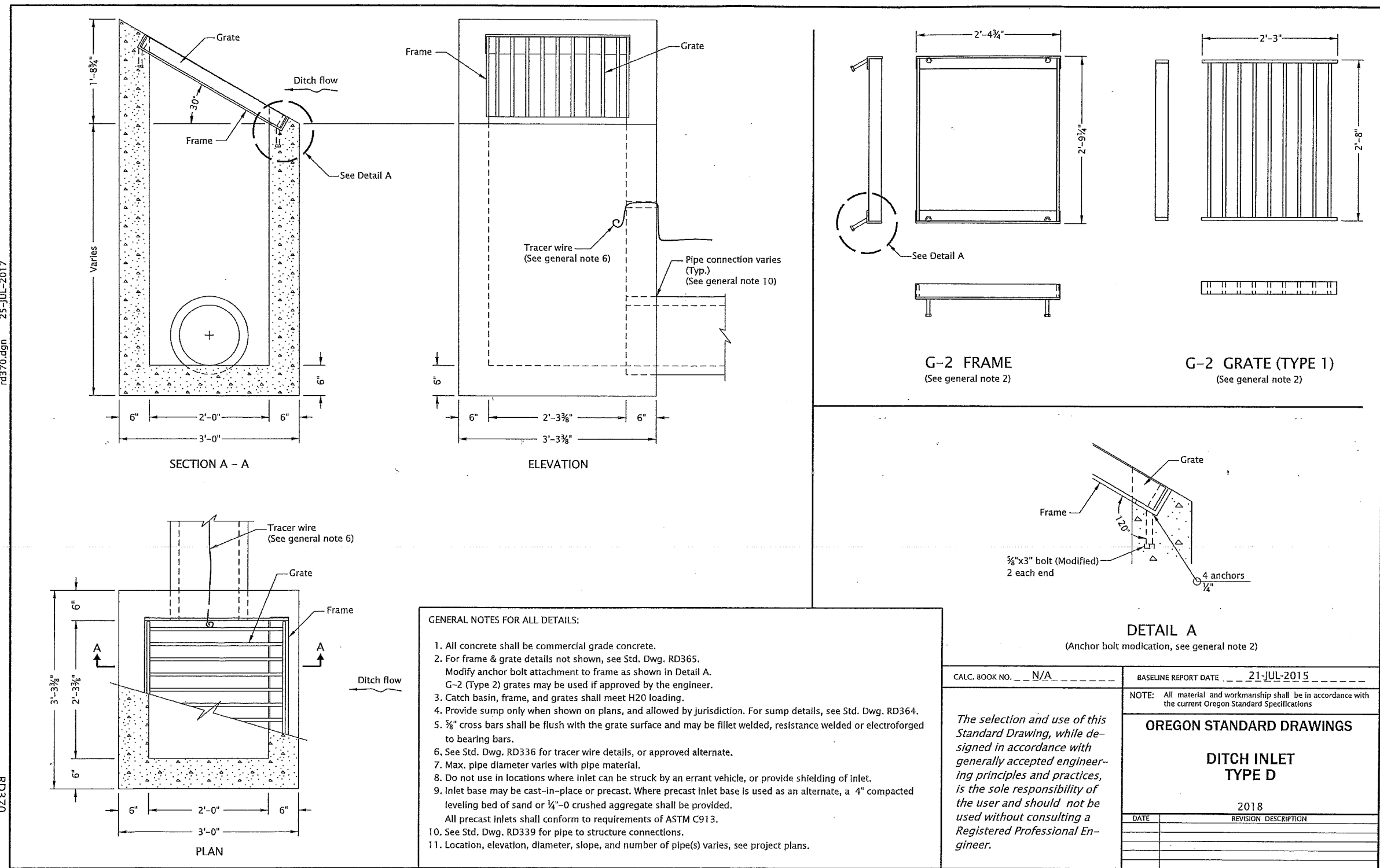
REVISIONS

DATE:

Sheet No.
5 OF 8

rd370.dgn 25-JUL-2017

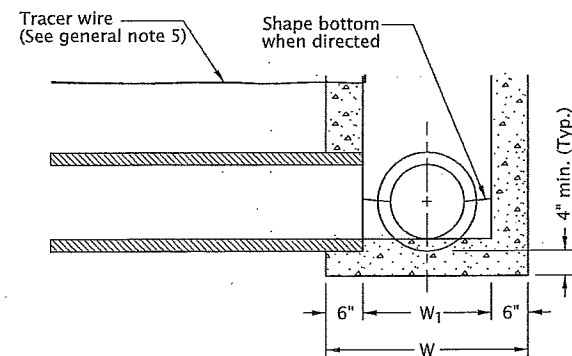
RD370



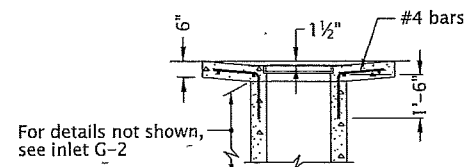
Effective Date: June 1, 2018 - November 30, 2018 RD370

rd364.dgn 25-JUL-2017

RD364



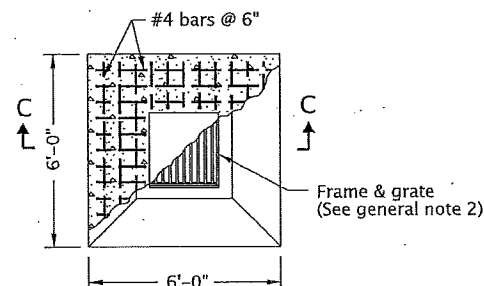
DETAIL A
WITHOUT SUMP



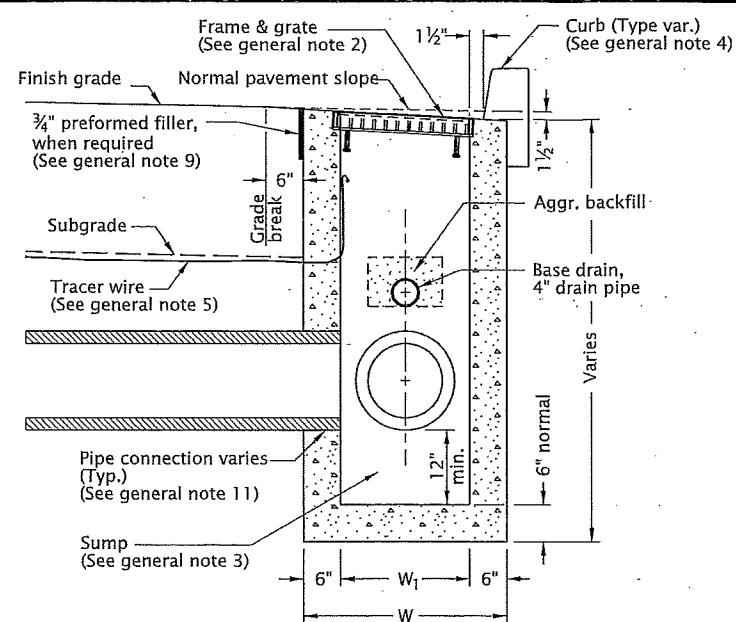
SECTION C-C

NOTE:

All reinforcement to be placed 2" clear of nearest face of concrete unless shown or noted otherwise



PLAN
TYPE G-2MA

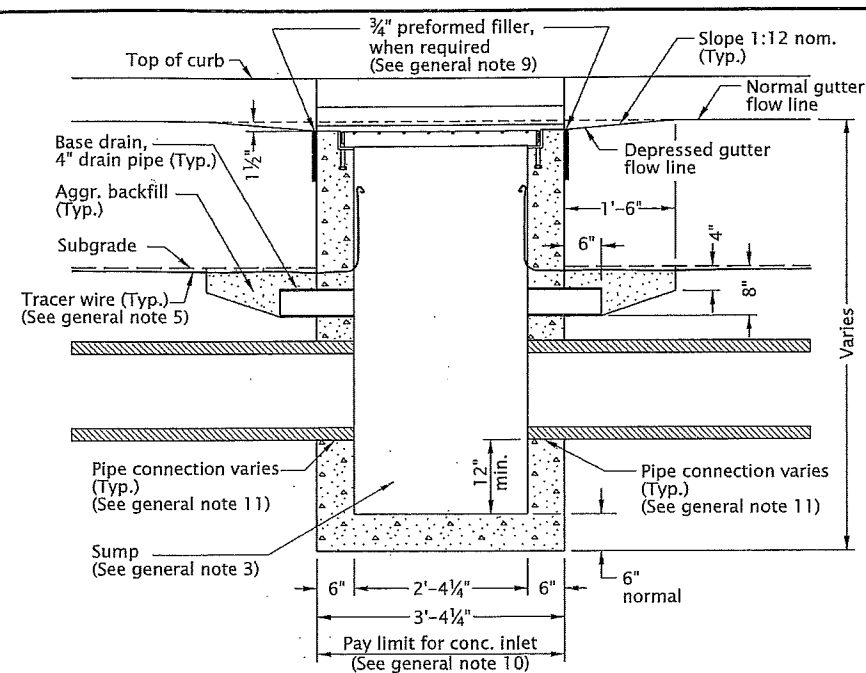


SECTION B - B

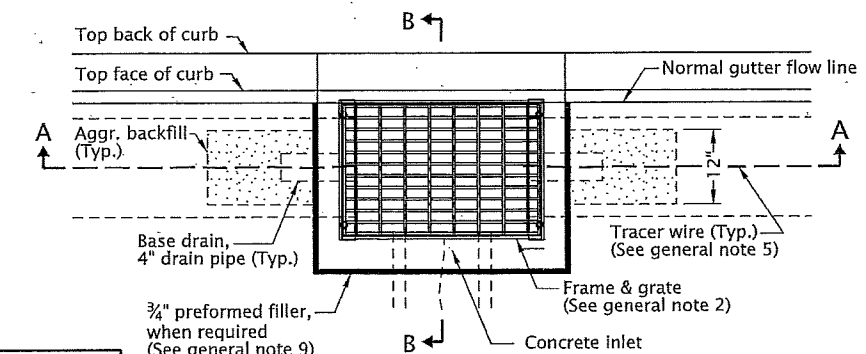
TABLE A		
INLET TYPE	W	W1
G-1	2'-8 7/8"	1'-8 7/8"
G-2, G-2M, G-2MA	3'-3 3/8"	2'-3 3/8"

GENERAL NOTES FOR ALL DETAILS:

- Where precast inlets are used as an alternate to cast-in-place inlets, a 4" compacted leveling bed of sand or 1/4"-0 crushed aggregate shall be provided. All precast inlets shall conform to requirements of ASTM C913.
- Graphics show G-1 inlet with Type 2 grate. See Table A for inlet dimensions. Type 1 grate allowed only in locations not subject to bicycle or pedestrian use. For frame and grate details, see Std. Dwg. RD365.
- Provide sump only where shown on plans, and allowed by jurisdiction. See Detail A for inlet without sump.
- For curb details, see Std. Dwg. RD700 & RD701.
- See Std. Dwg. RD336 for tracer wire details, or approved alternate.
- Max. pipe diameter varies with pipe material.
- Location, elevation, diameter, slope, and number of pipe(s) varies, see project plans.
- All concrete shall be commercial grade concrete.
- 3/4" preformed filler (in concrete pavement or gutter only) to extend through thickness of concrete.
- See Std. Dwg. RD363 for gutter transition section, when curb and gutter are required.
- See Std. Dwg. RD339 for pipe to structure connections.



SECTION A - A



PLAN
TYPE G-1, G-2, G-2M

CALC. BOOK NO. N/A	BASELINE REPORT DATE 21-JUL-2015
NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications	
OREGON STANDARD DRAWINGS	
CONCRETE INLETS	
TYPE G-1, G-2, G-2M, & G-2MA	
2018	
DATE	REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: June 1, 2018 - November 30, 2018

RD364

DETAIL SHEET

CORBETT HILL ROAD

MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
1620 S.E. 190th AVE. PORTLAND, ORE. 97233-5999



COUNTY ENGINEER

IAN B. CANNON P.E.

DATE: 8/17/2018 SCALE: 1:20

REVISIONS

DATE:

Sheet No.
7 OF 8

rd400.dgn 25-JUL-2017

RD400

