

14 DAY OPPORTUNITY TO COMMENT

Application for National Scenic Area Post Emergency Response Site Review

This notice serves as an invitation to comment on the application cited and described below.

Case File: T2-2018-10925

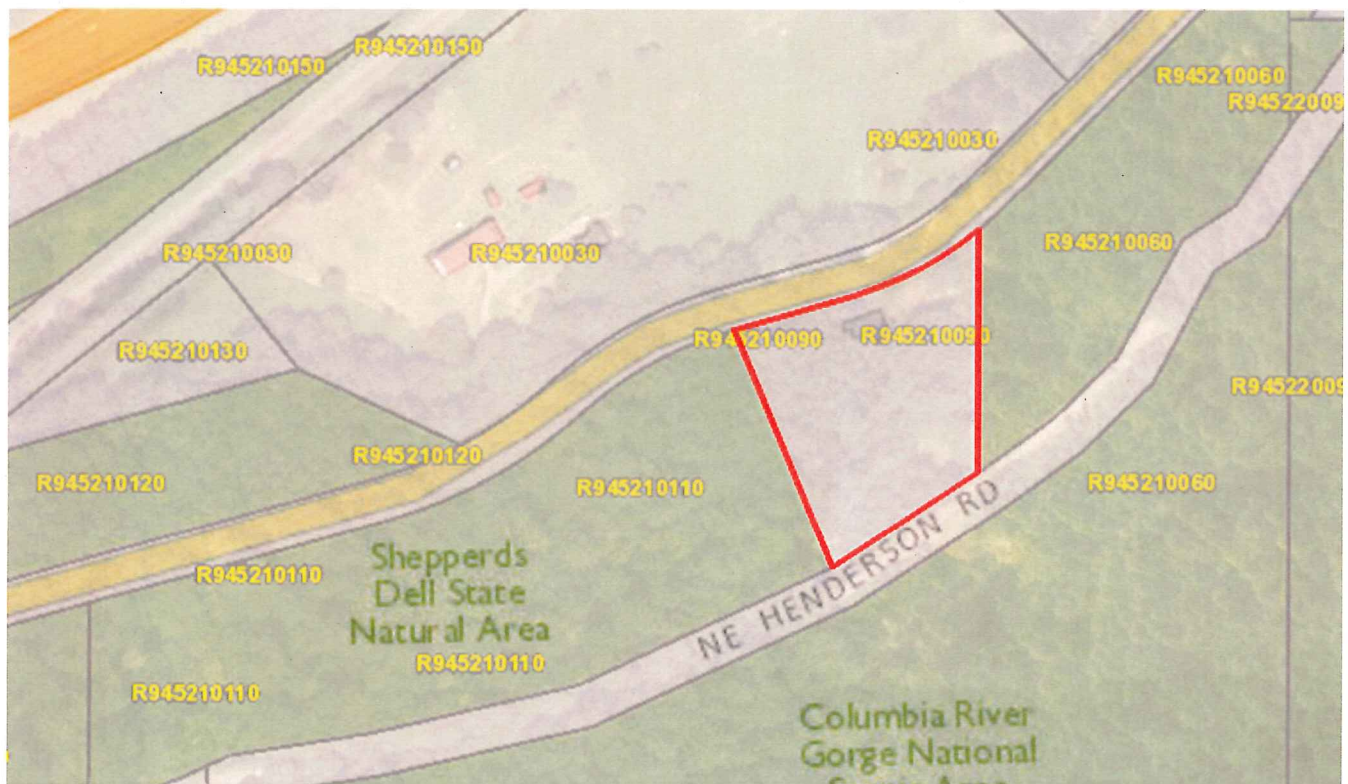
Location: 46010 E. Historic Columbia River Hwy, Corbett
Tax Lot 800, Section 21D, Township 1 North, Range 5 East, W.M.
Tax Account #R945210090

Applicant: Clint Davis

Zoning: Gorge Special Management Area Forest (GGF40)

Landscape Setting: none

Proposal: The applicant has submitted a National Scenic Area Post-Emergency Response application to authorize a septic replacement conducted under the Response to an Emergency/Disaster Event.



Applicable Approval Criteria: Multnomah County Code (MCC): MCC 38.7090 Responses to an Emergency Disaster Event

Copies of the referenced Multnomah County Code sections can be obtained by contacting our office or on our website at www.multco.us/landuse/zoning-codes under the link *Chapter 38 - Columbia River Gorge National Scenic Area*.

Comment Period: Written comments regarding this application will be accepted if received at the address above by **4:00 p.m., Tuesday, November 13, 2018**. Comments should be directed toward approval criteria applicable to the request. Application materials and other evidence relied upon are available for inspection at the Land Use Planning office (*Tuesday-Friday 8am-4pm*) at no cost. Copies of these materials may be purchased for 30-cents per page. For further information regarding this application, contact Katie Skakel, Staff Planner at 503-988-0213 or katie.skakel@multco.us.

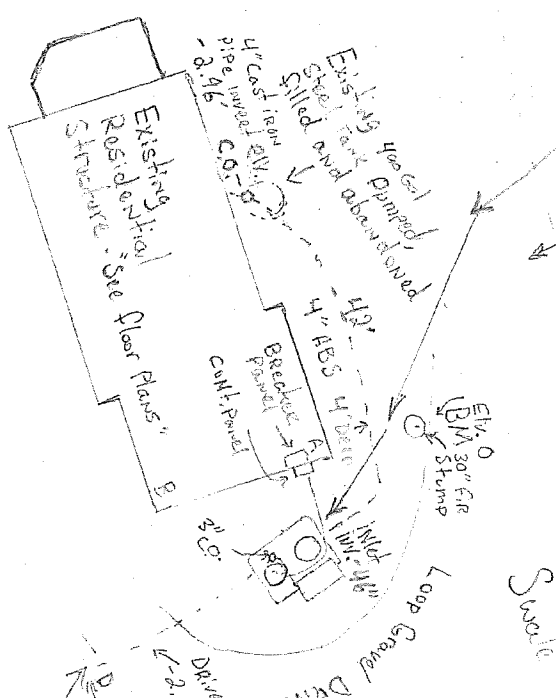
Decision Making Process: The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties to the case, any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

Important Note: Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.

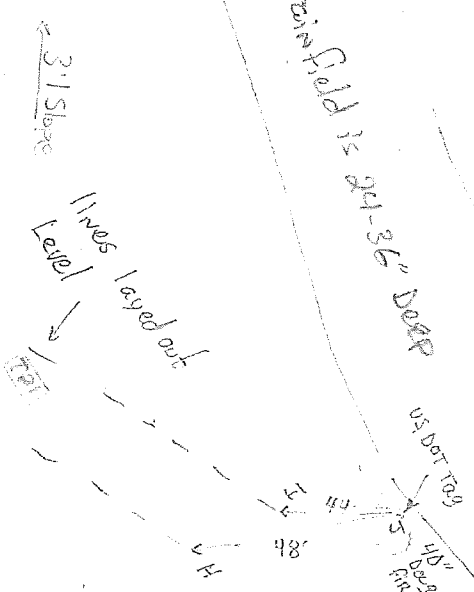
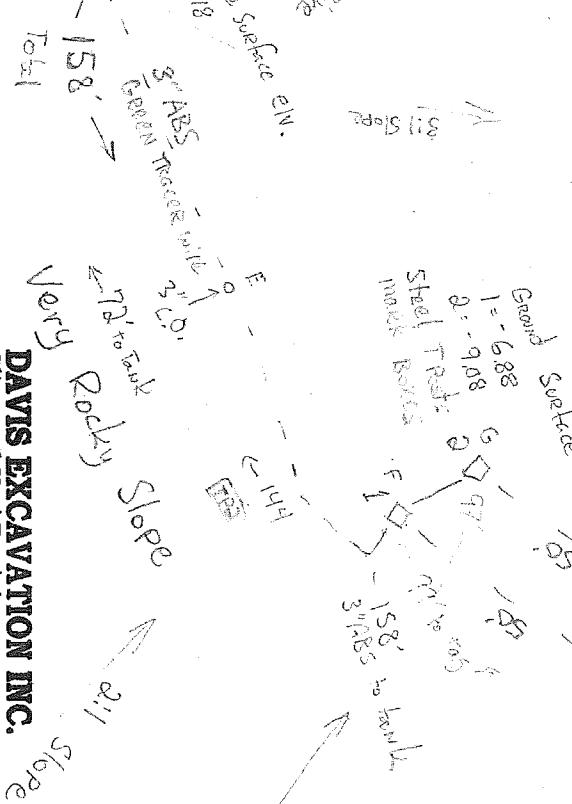
Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

Private Well
 1" = 30'
 (N) ↑
 --- Indicates branching for Piping



New 1500 gal. W.G. flow Heavy Concrete tank to EZ from drain field
 in Advanced
 New Tank 15 gal. 99.85' from Surface to bottom of tank
 Pipe from tank to drain field is 12" to 36" Deep.
 drain field is 24"-36" Deep



- A-C = 19'
- B-C = 24'
- A-D = 49'
- B-D = 36'
- A-E = 76'
- B-E = 72.5'
- A-F = 147'
- B-F = 150'
- A-G = 138'
- B-G = 143'

DAVIS EXCAVATION INC.
 Clint and Kati Davis
 39203 SE Howard Road
 Corbett, OR 97019
 503-695-5737
 CCB# 96056

A. Geiseler
 46010 E 14th. Col. R. Hwy.

East Property line