



Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

GENERAL APPLICATION FORM

11:57AM 000001 #8645
0005 JACKIE
PERMITS-TYPE 1 \$259.00
PERMITS-TYPE 3 \$1055.00
PERMITS-TYPE 3 \$3204.00
PERMITS-TYPE 2 \$15.45
R/W \$49.00
PERMITS-TYPE 2 \$1529.55
OR CARD \$611.20

PROPERTY IDENTIFICATION

Property Address 40301 E. Larch Mountain Road, Corbett, OR 97019

State Identification 1N-5E-30CC, Tax Lot 1600 Site Size 1 acre

A&T Alternate Account Number R# R832300010

OTHER PARCEL (if applicable)

Property Address _____

State Identification 1N-5E-30CC, Tax Lot 1500 Site Size 0.2 acre

A&T Alternate Account Number R# R832301940

PROPERTY OWNER(S) ☒ OR CONTRACT PURCHASER(S) ☐

Name HSF, LLC

Mailing Address PO Box 70

City Corbett State OR Zip Code 97019 Phone# _____

I authorize the applicant below to make this application.

Hannah F. Feltz

Property Owner Signature #1

[Signature]
Property Owner Signature #2

NOTE: By signing this form, the property owner or property owner's agent is granting permission for Planning Staff to conduct site inspections on the property.

If no owner signature above, a letter of authorization from the owner is required. ☐

APPLICANT'S NAME AND SIGNATURE

Applicant's Name Keith Daily

Mailing Address 321 SW Fourth Ave, #200

City Portland State OR Zip Code 97204 Phone # 503-235-9400

Fax _____ E-mail keith@emerick-architects.com

[Signature]
Applicant's Signature

GENERAL DESCRIPTION OF APPLICATION (REQUIRED)

Please provide a brief description of your project.

The View Point Inn and Wellness Center is a rehabilitation and expansion of a historic landmark on the National Register of Historic Places. The proposed use is for a wellness retreat center with accommodations for overnight guests. There will be five guest rooms with a small restaurant, spa facilities and health assessment center to provide the supporting amenities necessary for the retreat center.

Note: This application for Conditional Use Permit & Hillside Development Permit

For Staff Use

CASE NUMBER

13-2018-9967

505303 505302
LAND USE PERMIT(S)

CU, NSA Site Review

Lot Consol. 505304

Variance 505305

Hillside Develop.

DATE SUBMITTED

505306 Replat 505316

Compliance

Related ☒

Potential
Transportation
Impact ☒

PF/PA No.

21-2017-9820

Related Case No.

Related Case No.

ZONING

Zoning District

Zoning Overlay

EXHIBIT

A.1

VIEW POINT INN & WELLNESS CENTER OPERATIONAL PLAN

The View Point Inn and Wellness Center will include the following components of its operation:

- Five guest bedrooms accommodating up to ten guests within the Inn's historic structure.
- Holistic health assessment center located in the new addition proposed where the non-historic garage is currently situated.
- Health spa located in the expanded basement and restored accessory building.
- Health food restaurant for registered guests located in the Inn's historic great room.
- Limited larger events as described below.

Overnight Guests

The primary business activity for the View Point Inn and Wellness Center is focused on the five guest bedrooms that were previously operated by the historic Inn. These rooms will continue to be within the historic part of the building, restoring a centerpiece of the Corbett community while creating a healing retreat for guests who want to appreciate the natural beauty of the Columbia River Gorge.

The five queen beds offer space for a maximum of 10 overnight guests, who will be required to register for a minimum one-week stay. In addition to health assessments and spa treatments, overnight guests will be able to partake in daily educational talks on healthy living, hiking excursions into the Gorge, and healthy meals provided by the restaurant. The assessment center, spa facilities and restaurant serve to create a holistic retreat experience for the Inn's overnight guests.

Day Visitors

To efficiently utilize space, reconcile the needs of the entity's business projections and accommodate the needs of local clients, the View Point Inn and Wellness Center's operational plan incorporates the use of all facilities for day visitors, by appointment only. The restaurant will only be open to clients who have made an appointment for use of the spa facilities. Day visitor numbers are projected at an average of 15-45 external visitors per day who will stay for one to four hours per appointment.

Health Assessment Center

To create a holistic approach to wellness for the overnight guests and day use visitors, the health assessment center provides essential support to the spa facilities. The assessment center will include staff offices, health monitoring equipment, and an area for storing, mixing and shipping/receiving of herbal extracts.

A loading space is located adjacent to the health assessment center to service the shipping/receiving needs of the facility. An average of 3 deliveries and pick-ups are anticipated per week.

Staff

Staff and intern numbers are anticipated to be 5-12 employees, depending on the facility's fill rate. Work shifts will range from three to eight hours in length, including one overnight staff person.

Internships and volunteer opportunities will be offered to students and graduates of local universities and institutions to provide for advanced learning within the community.

Commercial Events

Plans for potential larger events include:

- 12 educational community lectures (high tea) per year, by reservation only. Maximum attendance of 40 people.
- 4-8 seasonal special menu dinners, by reservation only. Maximum attendance of 40 people.
- 1 annual Christmas party for staff and families. Maximum attendance of 80 people (including service staff).

Food will be provided onsite by the restaurant. No weddings will occur at the View Point Inn.

Overnight accommodations will still be available during the community lectures and seasonal dinners, allowing the primary use of the property to continue throughout these incidental events. The proposed events will provide opportunities beyond the retreat and wellness services of the inn and spa for the community to engage with this historic resource. Integrating the View Point Inn with the community will further the protection and enhancement of this historic resource.

Hours of Operation

The Wellness Center and restaurant will be open to registered day visitors from 9 am to 8 pm, seven days per week.

The commercial events described above will conclude by 10 pm. Except between Memorial Day and Labor Day, any outdoor activities associated with these events will conclude by 7 pm or sunset.

Parking & Deliveries

The property includes a parking lot that accommodates 27 cars.

All overnight and day guests can be accommodated within the provided parking lot.

Commercial event parking will be accommodated by the provided parking lot. As indicated above, the maximum event will be 80 people, including any service staff for the event. Per MCC 38.4205, commercial events require 1 space per 3 guests ($80/3 = 27$ spaces).

Deliveries are anticipated to be 3 times per week during business hours.



**VIEW POINT INN & WELLNESS CENTER
PROTECTION AND ENHANCEMENT PLAN**

MCC 38.7380(F)(1)(b): Applications for Special Uses in Historic Buildings shall include a "Protection and Enhancement Plan" which shall include the following:

- (i) *A description of how the proposed use will significantly contribute to the protection and enhancement of the historic resource, including specific actions that will be taken towards restoration, protection and enhancement, and adequate maintenance of the historic resource, and a proposed schedule for completion of such actions.*

The significant investment by HSF, LLC in the View Point Inn property and reopening of the building as a wellness center with an overnight stay component will significantly contribute to the protection and enhancement of this historic resource. Continuing to use the building as an inn allows for the greatest retention of historic character. While the historic finishes were destroyed by fire, the layout of the historic building is largely intact. By reusing the building in a manner that includes hospitality, the historically-significant great room is retained for its original function and the five guest rooms are also retained. This precludes the need to completely re-demise the interior as might be required for a different use. The other types of spaces that are needed to fulfill the HSF, LLC business plan are accommodated in a compatible side addition and a basement expansion. This approach allows the property to thrive as an income-producing asset, but preserves the character of the historic building.

Given that this National Register property is currently participating in the Special Assessment Program and also intends to apply for Historic Tax Credits through the National Park Service (NPS), all work on the property will be closely review by the Oregon State Historic Preservation Office (SHPO) and NPS for conformance with the Secretary's Standards for Historic Rehabilitation.

The enclosed plans outline the specific work that will be taken to restore, protect, and enhance the View Point Inn. Some key scopes of work include:

- Reroofing and residing the Inn with wood shingles to match the historic condition.
- Restoring the great room, including the fireplace, wood paneling, wood floors, and other character-defining finishes.
- Replacing the metal-frame porch enclosure with wood windows that are consistent with the historic condition.
- Restore the grounds and retain historic features such as the rock-faced piers.

The project is intended to commence in summer 2018 and be completed the following year.

As a property supporting a commercial business, the View Point Inn will be professionally managed, which will include regular maintenance to the historic resource and the grounds.

- (ii) *A statement addressing consistency of the proposed use with the Secretary of the Interior's Standards for Rehabilitation of Historic Properties and the Secretary of the Interior's Standards for Preservation of Historic Properties.*

Standard #1 reads: "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment." Many historic rehabilitation projects are challenged to meet this first Standard, but not the View Point Inn. As stated above, by retaining the building's use as an inn, the character of the building can be restored to its historic condition.

Adding square footage and program in an expanded basement is a historically-sensitive approach to enlarging a building. Likewise, a horizontal addition that replaces the non-historic garage and lightly touches the building with a small "hyphen" type connection, allows the historic building to read as the primary resource. The addition includes compatible, high-quality materials and harmonizes with the historic inn through its common forms, but does not visually compete for attention. The location on the northeast side of the building also allows the inn to retain its historic view from Larch Mountain Road.

The basement expansion and the addition have both been reviewed by Joy Sears at SHPO in August 2017. Her feedback was that our approach to these elements and the project, as a whole, is consistent with the Secretary's Standards.

- (iii) *Detailed architectural drawings and building plans that clearly illustrate all proposed exterior alterations to the building associated with the proposed use. Any exterior additions to the building or outdoor components of the proposed use (e.g. parking areas, site for temporary structures, interpretive displays) shall be shown on the site plan.*

Architectural drawings for the proposed project, including site plans, building plans and exterior elevations have been included with this application. Refer to those drawings for necessary information.

- (iv) *Any proposal for commercial events at a historic property shall include an Operation Plan for Commercial Events, to be incorporated into the "Protection and Enhancement Plan". The Operational Plan shall include sufficient information to demonstrate how the commercial events will remain incidental and subordinate to the primary use of the property, and shall, at minimum, address:*

- *Number of events to be held annually.*
- *Maximum size of events, including number of guests & vehicles at proposed parking area.*
- *Provision for temporary structures, including location and type of structures anticipated.*
- *How the proposed commercial events will contribute to protection and enhancement of the historic resource.*

Refer to the Operational Plan that has been included with this application.

**VIEW POINT INN & WELLNESS CENTER
PROJECT NARRATIVE**

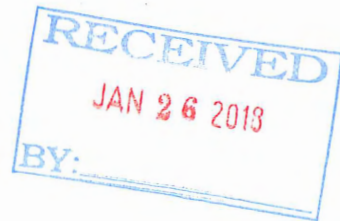
LOCATION: 40301 E. Larch Mountain Road
Corbett, OR 97019

Tax Lot 1600 / 1N-5E-30CC
Alt Account # - R832300010

Tax Lot 1500 / 1N-5E-30CC
Alt Account # - R832301940

BASE ZONE: Gorge General Forestry-40 (GGF-40)

LANDSCAPE: Pastoral



PROJECT SUMMARY:

The View Point Inn and Wellness Center is a rehabilitation and expansion of a historic landmark in the Columbia River Gorge. The building was originally constructed in 1924 and placed on the National Register of Historic Places in 1985. The proposed renovation, addition and site development will follow the Secretary of Interior's Standards for Rehabilitation of Historic Properties, and be closely reviewed by the Oregon State Preservation Office and National Parks Service.

The proposed use is to establish a wellness retreat center with accommodations for overnight guests. The project will include five guest rooms, retaining the number that has traditionally existed within the historic building. A small restaurant, spa facilities and a health assessment center will provide supporting amenities to create a retreat center focused on holistic wellness.

The project will restore the historic View Point Inn to include the five guest rooms, with the restaurant and dining area in the historically-significant great room of the original building. The health assessment center will be housed within an addition to the north end of the building that replaces the existing, non-historic garage. The spa facilities will be located within the expanded basement below the existing building and new addition. Furthermore, the historic grounds will be developed with a harmonious landscape design that embraces the natural beauty of the Gorge and re-establishes this historic landmark within the community.

PERMITS REQUIRED:

- **Conditional Use** - Proposed use for a retreat facility with overnight accommodations and select commercial events to be established per MCC 38.7380: Special Uses in Historic Buildings
- **National Scenic Area Site Review**
- **Hillside Development Permit**
- **Replat** - Replat of Lots 1 & 2 of Thor's Heights Addition. Combine to remove property line between lots.
- **Variance** - The following variances are requested for this project. For additional information regarding each variance, refer to the specific MCC sections found later within this narrative.
 1. MCC 38.2060: Front yard / street side yard dimensions
 2. MCC 38.2060: Height restriction for chimneys
 3. MCC 38.4175: Dimensional standards for parking stalls and aisles
 4. MCC 38.4195: Street lot line yard setbacks for parking areas
 5. MCC 38.7305: Roof materials in forest zones

LIST OF KEY VIEWING AREAS

The subject property is located within the following Key Viewing Areas:

- Columbia River
- Historic Columbia River Highway
- I-84
- Larch Mountain
- Portland Women's Forum *
- SR-14
- Sandy River

* The most prominent KVA visibility is from the Portland Women's Forum. Images of the view from the Portland Women's Forum have been included with this application.

MULTNOMAH COUNTY CODE

The following pages of this narrative address the MCC sections that are applicable to this project. For additional information beyond the written narrative, please refer to the drawings, images and other information that has been included with this application.

FOREST DISTRICTS – GGF

MCC 38.2030: Conditional Uses

(A) The following conditional uses may be allowed on lands designated GGF, pursuant to the provisions of MCC 38.0045 and 38.7300:

(10) Special uses in historic buildings, subject to MCC 38.7380

Response: The View Point Inn property was placed on the National Register of Historic Places in 1985. A copy of the nomination form has been included with this application. Therefore, the proposed Inn & Wellness Center is an allowed Conditional Use within a historic building. For additional information, please refer to the responses specific to section MCC 38.7380 found later in this narrative.

MCC 38.2060: Dimensional Requirements

(C) Minimum Yard Dimensions:

- Front = 30'
- Side = 10'
- Street Side = 30'
- Rear = 30'
- Maximum Structure Height = 35'
- Minimum Front Lot Line Length = 50'

Response: The Yard Dimensions from the property line are as follows:

The existing historic building:

- Front / Street Side @ Columbia Avenue = 2'-0"
Note: Existing non-historic garage that is to be removed is over the property line.
- Side / Street Side @ East Larch Mountain Road = 24'-10"
Note: Yard = 32'-6" to edge of pavement & 30'-0" to existing fence line
- Side Yard to North = 97'-0"
- Rear Yard to West = 132'-0"
- Existing Structure Height is 33'-6"
- Front Lot Line is approximately 192'-4"

The proposed addition:

- Front / Street Side @ Columbia Avenue = 17'-0"
- Side Yard to North = 56'-10"
- Rear Yard to West = 160'-7"
- Proposed Addition Height = 27'-10"

The historic View Point Inn was originally constructed in 1924 and has been on the National Register of Historic Places since 1985. The property is located in the GGF-40 zone, which is for parcels that are 40 acres in size. The main View Point Inn property

is approximately 1 acre in size and the adjacent parking property is less than ¼ acre in size. In such, dimensional yard standards for 40-acre parcels places an undo burden on lots as small as those of the View Point Inn.

As sited, the existing building does not meet the street side yard requirements along Columbia Avenue, and although it is set back greater than 30' to the pavement of East Larch Mountain Road, it is less than 30' to the property line along that street. A Variance from the street side yard requirement is requested to allow the existing building to remain in its historic location.

To maintain visual subordination from Key Viewing Areas to the west and abide by the Secretary of Interior's Standards for Rehabilitation of Historic Properties, the proposed addition is set back 17'-0" from the east property line along Columbia Avenue. The building addition involves removing the existing, non-historic garage that is located over the property line, so the proposed 17'-0" setback is an improvement upon the existing condition. A Variance from the street side yard requirement is requested to allow the proposed addition to be situated as indicated, so it can be visually and historically sensitive to its surroundings and existing site.

In addition, the existing accessory building is set back 6'-2" from the east property line along Columbia Avenue. If necessary, a Variance from the street side yard requirement is requested to allow the accessory building to remain in its existing location.

Refer to the Site Plan drawing on sheet A0.1 for additional information.

- (E) Structures such as barns, silos, windmills, antennae, chimneys, or similar structures may exceed the height requirement if located at least 30 feet from any property line.

Response: The existing chimney is located 26'-9" from the east property line and the top of structure is approximately 36'-8" above grade. A Variance from the 35' height restriction for chimneys located within 30' of any property line is requested to allow the chimney to remain.

MCC 38.2085: Off-Street Parking and Loading

Off-street parking & loading shall be provided as required by MCC 38.4100 - 38.4215.

Response: Off street parking and loading has been provided for the proposed use. Please refer to the responses specific to section MCC 38.4100 – 38.4215 found later in this narrative.

OFF-STREET PARKING AND LOADING

MCC 38.4130: Location of Parking and Loading Spaces

(A) Parking spaces required by this section shall be provided on the lot of the use served by such spaces.

Response: Existing parking for the View Point Inn is located on the adjacent property to the east. This condition has previously been permitted and approved and will remain in effect with this new proposal. For additional information, see response below to part (B) of this section.

(B) Exception – The Planning Director may authorize the location of required parking spaces other than on the site of the primary use, upon written finding by the Director that:

- (1) Parking use of the alternate site is permitted by this Ordinance
- (2) The alternate site is within 350' of the use
- (3) There is a safe and convenient route for pedestrians between the parking area and use
- (4) Location of required parking other than on the site of the use will facilitate satisfaction of one or more purposes or standards or requirements of this chapter
- (5) There is assurance in the form of a deed, lease, contract or other similar document that the required spaces will continue to be available for off-street parking use according to the required standards.

Response: The existing parking area for the View Point Inn is located on the property directly to the east, which is under the same ownership as the main property. Copies of the deeds for both properties have been included with this application. The properties are separated by Columbia Avenue, which is 30' wide. Two access points for this parking lot were authorized under permit No. 65292. Location of the parking to the east of the existing building means it is not visible from the Key Viewing Areas located west of the property. If parking were to be located on the main property, it would ultimately be visible from prominent Key Viewing Areas, which would place the parking in conflict with other sections of this code. The proposed landscape plan includes the addition of a stone paver crosswalk to provide a safe and convenient route for pedestrians across Columbia Avenue. Refer to drawings C1.0, L1.01 and A0.1 for additional information.

(C) Loading spaces and vehicle maneuvering area shall be located only on or abutting the property served.

Response: The required loading space is to be located on the property served. It is shown to the north of the proposed addition. See drawings C1.0, L1.01 and A0.1 for additional information.

MCC 38.4175: Dimensional Standards

(A) Parking spaces shall meet the following requirements:

- (1) At least 70% of the required off-street parking spaces shall have a minimum width of 9', a minimum length of 18', and a minimum vertical clearance of 6'-6".
- (2) Up to 30% of the required off-street parking spaces may have a minimum width of 8'-6", a minimum length of 16', and a vertical clearance of 6' if such spaces are clearly marked for compact car use.

- (3) For parallel parking, the length of the parking space shall be 23'.
- (4) Space dimensions shall be exclusive of access drives, aisles, ramps or columns.

Response: The proposed parking layout includes 27 total spaces, all of which will have the 6'-6" minimum vertical clearance. Of those, a total of 5 spaces (19%) are 8'-6" wide by 16' long. The remaining spaces are 9'-0" wide by 16' long. For spaces along the lot perimeter, the 16' length includes an overhang depth beyond the curb/bumper stop. See drawing sheet A0.1 for additional information. Previously approved and permitted parking layouts for this property included spaces as short as 15', A **Variance** is requested for the minimum length requirement of 18' for 70% of parking spaces.

(B) Aisle width shall be not less than:

- (1) 25' for 90-degree parking
- (2) 20' for less than 90-degree parking
- (3) 12' for parallel parking
- (4) Angle measurements shall be between the center line of the parking space and center line of the aisle.

Response: 90-degree parking is proposed for the entire lot. 20' wide aisles are proposed between the rows of parking, with a 25' turning aisle at the end of the center row of spaces. See drawing sheet A0.1 for additional information. A **Variance** is requested to allow for 20' wide aisles in lieu of the 25' aisle width requirement.

(C) Loading spaces shall meet the following requirements:

- (1) Minimum width = 12', minimum depth = 25'
- (2) Minimum vertical clearance shall be 13'

Response: The proposed loading space is 12' wide by 30' deep. The loading space is not covered and a minimum vertical clearance of 13' shall be maintained to any tree limbs that may overhang the loading space.

MCC 38.4180: Improvements

(A) Surfacing:

- (1) Unless as otherwise provided in either this section or MCC 38.7380 for Special Uses in Historic Buildings; all areas used for parking, loading or maneuvering of vehicles, including the driveway, shall be surfaced with at least gravel or 2" of blacktop on a 4" crushed rock base or at least 6" of Portland cement, unless a design providing additional load capacity is required by the fire service provider, building official or County Engineer, as applicable.

Response: The surfacing for the parking areas shall be gravel.

(B) Curbs and Bumper Rails:

- (1) All areas used for parking, loading and maneuvering of vehicles shall be physically separated from public streets or adjoining property by required landscape strips or yards or in those cases where no landscaped area is required, by curbs, bumper rails or other permanent barrier against unchanneled motor vehicle access or egress.
- (2) The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least 4" in height and at least 3' from the lot line or any required fence.

Response: A 4" high concrete curb will mark the outer boundary of the parking area. The curb will be 6" wide, maximum. As indicated on drawing sheet A0.1, the interior face of the curb is 3'-6" in from all property lines. Assuming the curb is 6" wide, there will be at least 3' clear from the back of curb to the property line.

- (C) Marking – All areas for parking and maneuvering of vehicles shall be marked in accordance with the approved plan required under MCC 38.4120, and such marking shall be continually maintained.

Response: All parking and maneuvering areas shall be marked and maintained. Refer to drawing sheets C1.0, L1.01 and A0.1 for additional information.

- (D) Drainage – All areas for the parking and maneuvering of vehicles shall be graded and drained to provide for the disposal of all surface water on the lot.

Response: All parking and maneuvering areas shall be graded and drained. Refer to drawing sheets C1.0 and C2.0 for proposed grading and drainage information.

MCC 38.4185: Lighting

Any artificial lighting which may be provided shall be shielded or deflected so as to not shine into adjoining dwellings or other types of living units, and so as not to create a hazard to the traveling public on any street.

Response: Only downward directed light fixtures will be used to avoid shining into adjacent properties or streets. The lighting will be shielded and/or deflected away from adjacent areas. Please refer to the lighting images that have been included in this application.

MCC 38.4195: Design Standards – Setbacks

- (A) Any required yard which abuts upon a street lot line shall not be used for a parking or loading space, vehicle maneuvering area or access drive other than a drive connecting directly to a street.

Response: This requirement for the parking area cannot be met. The property is zoned GGF-40, which is for parcels that are 40 acres in size, but the parking is located on a property that is less than ¼ acre in size. Adhering to the required yard setbacks would greatly restrict the ability to use this parcel. This parcel has traditionally been used for parking and has previously been approved and permitted as such. A **Variance** from the required street yard setback is requested for this parcel to continue its existing use as a parking area.

MCC 38.4205: Minimum Required Off-Street Parking Spaces

(C) Retail, Office & Commercial Use

- (1) Store, and Personal Service Shop - 1 space for each 400 sf of gross floor area
- (4) Restaurant, Coffee Shop, Tavern or Bar - 1 space for each 100sf gross floor area
- (6) Overnight Accommodations - 1 space per guest room or suite plus extra spaces for dining rooms, ballrooms or meeting rooms as required by this section where the capacity of such areas exceeds the capacity of the guest rooms or suites.
- (7) Commercial Events - 1 space for every 3 guests allowed within the maximum event size plus one space for each 2 employees.
- (8) Conference or Retreat Facilities - These shall be treated as combinations of uses such as overnight accommodations, restaurant, auditorium, etc; and the required spaces for each separate use shall be provided.

Response: The View Point Inn & Wellness Center combines overnight accommodations with a spa retreat facility. Therefore, the required off-street parking calculations are developed as a combination of those uses as follows:

Overnight Accommodations:	5 Guest Rooms	= 5 parking spaces
Restaurant / Dining Room:	1225sf/100sf	= 12 parking spaces
Spa Facilities (Personal Service):	3975sf/400sf	= 10 parking spaces
Combined Total		= 27 parking spaces

In addition, the Operational Plan included with this application indicates a series of Commercial Events by reservation only. The proposed Commercial Events are as follows:

Community Lectures:	<u>40 guests max. (40/3= 13) + 12 employees max. (12/2=6)</u>
	Total Lecture Parking Required = 19 spaces
Seasonal Dinners:	<u>40 guests max. (40/3= 13) + 12 employees max. (12/2=6)</u>
	Total Dinner Parking Required = 19 spaces
Annual Staff Holiday Party:	<u>80 guests maximum - including staff (80/3 = 27)</u>
	Total Lecture Parking Required = 27 spaces

The Wellness Center will not be open during the Community Lectures or Seasonal Dinners and the Restaurant area will be used to serve those events, but the Overnight Accommodations will still be available. Therefore, in addition to the 19 required parking spaces for those events, the 5 parking spaces dedicated to guest rooms will still be required, bringing the total parking count for those events to 24 spaces. The Overnight Accommodations will not be available during the Annual Holiday Party, so the total required parking for that event stays at 27 spaces.

The proposed parking layout for the project includes a total of 27 parking spaces. Refer to drawing sheets C1.0, L1.01 and A0.1 and the Operational Plan for additional information.

HILLSIDE DEVELOPMENT

MCC 38.5520: Grading & Erosion Control Standards

Approval of development plans on sites subject to a Hillside Development Permit shall be based on findings that the proposal adequately addresses the following standards. Conditions of approval may be imposed to assure the design meets the standards:

(A) Design Standards for Grading & Erosion Control

- (1) Grading Standards – Items (a) through (e)
- (2) Erosion Control Standards – Items (a) through (m)

- (B) Responsibility
- (C) Implementation
- (D) Final Approvals

Response: A Hillside Development Permit is part of this Land Use Application. For implementation of the Grading & Erosion Control standards, please refer to drawing sheet C1.0 and the associated HDP Form 1 and HDP Worksheet.

NATIONAL SCENIC AREA SITE REVIEW

MCC 38.7035: GMA Scenic Review Criteria

The following scenic review standards shall apply to all Review & Conditional Uses in the General Management Area of the Columbia River Gorge National Scenic Area:

(A) All Review Uses and Conditional Uses:

- (1) New buildings and roads shall be sited and designed to retain the existing topography and to minimize grading activities to the maximum extent practicable.
- (2) New buildings shall be compatible with the general scale (height, dimensions and visible mass) of similar buildings that exist nearby (within ¼ mile). Expansion of existing development shall comply with this guideline to the maximum extent practicable.
- (3) New vehicular access points to the Scenic Travel Corridors shall be limited to the maximum extent practicable, and access consolidation required where feasible.
- (4) Property owners shall be responsible for the proper maintenance and survival of any required vegetation.
- (5) For all proposed development, the determination of compatibility with the landscape setting shall be based on information submitted in the site plan.

Response: The View Point Inn is an existing building on the National Register of Historic Places. The proposed rehabilitation, building expansion and development of the property seeks to retain the existing topography as much as possible. Please refer to drawing sheet C1.0, along with the HDP forms for additional information regarding the approach to grading. The proposed addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties, which puts it in compatible scale with the existing historic structure. Furthermore, the proposed addition is similar in footprint to the existing garage it is replacing, resulting in minimal change to the

existing scale of the building. No new vehicular access points to Scenic Travel Corridors are required for the proposed development. Please refer to the L-series of drawings for additional information regarding the landscape elements of the project.

(B) All Review Uses & Conditional Uses topographically visible from Key Viewing Areas:

- (1) Each development shall be visually subordinate to its setting as seen from Key Viewing Areas.
- (2) The extent and type of conditions applied to a proposed development or use to achieve the scenic standard shall be proportionate to its potential visual impacts as seen from Key Viewing Areas.
- (3) Determination of potential visual effects and compliance with visual subordination policies shall include consideration of the cumulative effects of proposed developments.

Response: The View Point Inn is on the National Register of Historic Places. Per section MCC 38.7035 (B)(14), *Rehabilitation of or modifications to existing significant historic structures shall be exempted from visual subordination requirements for lands seen from Key Viewing Areas.* In such, the proposed project is exempt from the visual subordination requirements of MCC 38.7035(B)(1-3) listed above. Although the historic site is exempt, the proposed rehabilitation seeks to retain visual subordination to the greatest extent practicable by locating the addition on the least visible portion of the site, respecting the scale and aesthetic of the existing building and using the landscape design to help screen the addition from Key Viewing Areas.

- (4) In addition to site plan requirements in MCC 38.0045 (A) applications for all buildings visible from key viewing areas shall include a description of the proposed building's height, shape, color, exterior building materials, exterior lighting, and landscaping details (type of plants used, number, size, locations of plantings, and any irrigation provisions or other measures to ensure the survival of landscaping planted for screening purposes).

Response: Refer to the attached drawings and material sheets regarding the above listed elements of the proposed building and site.

- (6) New development shall be sited on portions of the subject property which minimize visibility from Key Viewing Areas, unless the siting would place such development in a buffer specified for protection of wetlands, riparian corridors, sensitive plants, sensitive wildlife sites or conflict with the protection of cultural resources. In such situations, development shall comply with this standard to the maximum extent practicable.

Response: The proposed addition is sited on the north end of the existing building, which through existing and proposed vegetation, has the least visual impact from Key Viewing Areas. Locating the addition on another portion of the site would alter the historic integrity of the existing building and place the addition within prominent view from key areas.

- (7) New development shall be sited using existing topography and/or existing vegetation as needed to achieve visual subordination from key viewing areas.
- (8) Existing tree cover screening proposed development from key viewing areas shall be retained as specified in MCC 38.7035 (C).
- (9) Driveways and buildings shall be designed and sited to minimize visibility of cut banks and fill slopes from key viewing areas.

Response: For items (7-9) above, the proposed development seeks to use existing topography and vegetation while minimizing cut and fill to the greatest extent practicable. Refer to the Civil and Landscape drawings, and associated Hillside Development Forms for additional information regarding grading and vegetation. No driveways are visible from key viewing areas, and restoring the existing building plus addition will not visibly alter the topography from key viewing areas.

- (10) The exterior of buildings on lands seen from Key Viewing Areas shall be composed of nonreflective materials or materials with low reflectivity, unless the structure would be fully screened from all Key Viewing Areas by existing topographic features.

Response: The View Point Inn is on the National Register of Historic Places, and per section MCC 38.7035 (B)(14) is exempt from this requirement. The proposed rehabilitation and addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties. The proposed exterior materials are non-reflective or low-reflective in nature. The exterior consists of a wood cedar shake roof, wood cedar shingle siding and dark wood trim throughout. A narrow slot of the addition will have a standing seam copper roof that will be pre-patinated before installation for an aged, weathered and non-reflective appearance. Please refer to the attached elevations, renderings and material sheets for additional information.

- (11) Exterior lighting shall be directed downward and sited, hooded and shielded such that it is not highly visible from Key Viewing Areas. Shielding and hooding materials shall be composed of non-reflective, opaque materials.

Response: Exterior lighting throughout the project will be minimal. Most lighting will be low-level bollards for pathway lighting that will be screened from Key Viewing Areas. Building lighting will be directed downward and shielded with non-reflective materials. Refer to attached lighting image sheets for additional information about proposed lighting fixtures.

- (12) Unless expressly exempted by other provisions of this chapter, colors of structures on sites visible from key viewing areas shall be dark earth-tones found at the specific site or the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval.

Response: The View Point Inn is on the National Register of Historic Places, and per section MCC 38.7035 (B)(14) is exempt from this requirement. The proposed rehabilitation and addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties. In doing so, the proposed colors for the addition are intended to match the historic colors of the existing structure. Please refer to the attached elevations, renderings and material sheets for additional information.

- (13) Additions to existing buildings smaller in total square area than the existing building may be the same color as the existing building. Additions larger than the existing building shall be of dark earth-tone colors found at the specific site or in the surrounding landscape.

Response: The proposed addition is smaller in total square area than the existing building, and therefore may be the same color as the existing building. The proposed colors for the addition

are intended to match the historic colors of the existing structure. Please refer to the attached elevations, renderings and material sheets for additional information.

- (14) Rehabilitation of or modifications to existing significant historic structures shall be exempted from visual subordination requirements for lands seen from Key Viewing Areas. To be eligible for such exemption, the structure must be included in, or eligible for inclusion in, the National Register of Historic Places or be in the process of applying for a determination of significance pursuant to such regulations. Rehabilitation of or modifications to such historic structures shall be consistent with National Park Service regulations for historic structures.

Response: The View Point Inn was placed on the National Register of Historic Places in 1985 and is therefore exempt from these visual subordination requirements. A copy of the historic nomination has been included with this application. The rehabilitation shall be consistent with National Park Service regulations for historic structures. Refer to the drawings, images and "Protection & Enhancement Plan" that are included with this application.

- (16) An alteration to a building built prior to November 17, 1986, which already protrudes above the skyline of a bluff, cliff or ridge as seen from a Key Viewing Area, may itself protrude above the skyline if:
- (a) The altered building, through use of color, landscaping and/or other mitigation measures, contrasts less with its setting than before the alteration; and
 - (b) There is no practical alternative means of altering the building without increasing the protrusion.

Response: The View Point Inn was originally constructed in 1924 and is on the National Register of Historic Places. The existing building protrudes from the bluff visible from the Portland Women's Forum. The gable end of the existing, non-historic garage addition faces the key viewing area and is incongruous with the historic structure. The proposed addition removes the garage and creates a massing that is more harmonious with the existing building, establishing a façade that contrast less with its setting than the current garage. The ridge of the proposed addition will be lower than the existing building to minimize the overall protrusion. Furthermore, the addition is located in the only practical location on the site, in an area that works with the natural topography, has the least impact as seen from Key Viewing Areas and is most congruous with the Secretary of Interior's Standards for Rehabilitation of Historic Properties.

- (17) The following standards shall apply to new landscaping used to screen development from key viewing areas:
- (a) New landscaping shall be required only when there is no other means to make the development visually subordinate from key viewing areas. Development shall be sited to avoid the need for new landscaping wherever possible.
 - (b) If new landscaping is required, it shall be used to supplement other techniques for achieving visual subordination.
 - (c) Vegetation planted for screening purposes shall be of sufficient size to make the development visually subordinate within five years or less of commencement of construction.
 - (d) Landscaping shall be installed as soon as practicable, and prior to project completion.

Response: The proposed landscaping is intended to fit with the historic nature of the property. The western lawn area that has traditionally been a feature of the property shall remain. Additional landscaping is proposed to provide some screening for the new addition and create a buffer from the adjacent street. The landscaping is an integral part of the project and shall be installed prior to project completion. Please refer to the Planting Plan shown on drawing sheet L2.01 for additional information.

(18) Conditions regarding new landscaping or retention of existing vegetation for new developments on land designated GMA Forest shall meet both scenic guidelines and the fuel break requirements of MCC 38.7305(A).

Response: Please refer to the L-series of Landscape drawings, other responses to scenic guidelines within this narrative and the response to MCC 38.7305(A) found later in this narrative.

(23) Except for water-dependent development and water-related recreation development, development shall be set back 100 feet from the ordinary high-water mark of the Columbia River below Bonneville Dam, and 100 feet from the normal pool elevation of the Columbia River above Bonneville Dam.

Response: The subject property is located more than 100' back from the ordinary high-water mark of the Columbia River below Bonneville Dam.

(24) New buildings shall not be permitted on lands visible from Key Viewing Areas with slopes in excess of 30 percent.

Response: The proposed project includes an addition, but no new buildings. Slopes within the area of development on the property, including the existing building, proposed addition and landscaping areas, do not exceed 30%. Refer to the grading plan, drawing sheet C1.0 for additional information.

(25) All proposed structural development involving more than 100 cubic yards of grading on sites visible from Key Viewing Areas shall include submittal of a grading plan.

Response: A grading plan has been included with this application. Please refer to drawing sheet C1.0.

(C) All Review Uses & Conditional Uses within the following landscape settings, regardless of visibility from KVAs:

(1) Pastoral

(a) In portions of this setting visible from Key Viewing Areas, the following standards shall be employed to achieve visual subordination for new development and expansion of existing development:

1. Except as necessary for site development or safety purposes, the existing tree cover screening the development from Key Viewing Areas shall be retained.
2. Vegetative landscaping shall, where feasible, retain the open character of existing pastures and fields.

3. At least half of any trees planted for screening purposes shall be species native to the setting or commonly found in the areas.
4. At least one-quarter of any trees planted for screening shall be coniferous for winter screening.

Response: As indicated on the proposed "Tree Removal and Protection Plan" on sheet L0.01, the majority of existing tree cover is to remain, with only a minimal amount to be removed as necessary for site development. The open character of the west portion of the historic property has predominantly been retained, as indicated by the open lawn areas shown in the "Planting Plan" on sheet L2.01. A select amount of planting is proposed towards the north of the site as screening for the building addition; please refer to sheet L2.01 for additional information regarding species.

(D) All Review Uses and Conditional Uses within scenic travel corridors:

- (2) All new buildings and alterations to existing buildings, except in a GGRC, shall be set back at least 100' from the edge of pavement of the Scenic Travel Corridor roadway. A variance to this setback requirement may be granted pursuant to MCC 38.0065. All new parking lots and expansions of existing parking lots shall be set back at least 100 feet from the edge of pavement of the Scenic Travel Corridor roadway, to the maximum extent possible.
- (3) Additions to existing buildings or expansion of existing parking lots located within 100' of the edge of pavement of a Scenic Travel Corridor roadway except in a GGRC, shall comply with subsection (2) above to the maximum extent practicable.

Response: The project property is within the Columbia River Highway Scenic Travel Corridor. As indicated by the setback line on drawing sheet A0.1, the existing building and expansion is set back more than 100' from the Columbia River Highways edge of pavement.

MCC 38.7045: GMA Cultural Resource Review Criteria

(A) Cultural Resource Reconnaissance Surveys

- (1) A cultural reconnaissance survey shall be required for all proposed uses, except:
 - (a) The modification, expansion, replacement, or reconstruction of existing buildings and structures
 - (e) Proposed uses that would occur on sites that have been adequately surveyed in the past.

Response: The View Point Inn is an existing building that was originally constructed in 1924 and has been on the National Resister of Historic Places since 1985. Multiple surveys and plat maps of the property have been found, some dating as far back as 1913. Per exceptions (a) and (e) listed above, a cultural resource reconnaissance survey is not required.

SPECIAL USES

MCC 38.7300: Review and Conditional Uses

(B) Forestry

- (1) The owners of land designated GGF or GGA within 500' of the perimeter of the subject parcel have been notified of the land use application and have been given at least 10 days to comment prior to a final decision
- (2) The use will not interfere seriously with accepted forest or agricultural practices on nearby lands devoted to resource use
- (3) The use will be sited in such a way as to minimize the loss of forest or agricultural land and to minimize the chance of interference with accepted forest or agricultural practices of nearby lands, and
- (4) The use will not significantly increase fire hazard, fire suppression costs or risk to fire suppression personnel and will comply with MCC 38.0085.

Response: The owners of adjacent lands shall be notified as required as part of the land use application for this project. The proposed use of overnight accommodations and retreat center is one that has previously existed on the subject property, and that use does not interfere with any forest and agricultural practices on nearby lands. As the rehabilitation of an existing historic building on a previously developed site, the proposed development will not create any loss or interference with forest or agricultural land. Furthermore, the existing building does not have a sprinkler system installed. Therefore, the proposed development will add an automatic sprinkler system throughout the existing building and new addition to help reduce fire hazard and suppression costs while improving safety. In addition, all exterior planting areas will have an automatic irrigation system that will also help to reduce fire hazard.

MCC 38.7305: Fire Protection in Forest Zones

- (A) All buildings shall be surrounded by a maintained fuel break of 50'. Hazardous fuels shall be removed with the fuel break area. Irrigated or fire resistant vegetation may be planted within the fuel break. This could include green lawns and low shrubs. Trees should be spaced greater than 15' between the crowns and pruned to remove dead and low branches.

Response: The proposed development is located within the GGF-40 zone, which is for parcels that are 40 acres in size; but the subject property is only about 1 acre in size and the existing historic building is less than 50' from multiple property lines. Therefore, to establish a fuel break within the confines of the property, all planting areas shall be irrigated with a permanent automatic irrigation system as indicated in the Planting Notes on sheet L2.01,

- (B) Buildings with plumbed water systems shall install at least one standpipe a minimum of 50' from the structure.

Response: Standpipes shall be installed as required. Refer to drawing sheet C2.0 for additional information.

- (D) Access drives shall be constructed to a minimum of 12' in width and not exceed a grade of 12%. Turnouts shall be provided at a minimum of every 500'. Access drives shall be maintained to a level that is passable to fire equipment.

Response: All access drives are at least 12' wide and less than 12% grade and the subject property does not exceed 500' in any direction. Refer to drawings C1.0, C2.0 and A0.1 for additional information.

- (F) Telephone and power supply systems shall be underground wherever possible.

Response: Existing telephone and power supply systems along Larch Mountain Road are overhead and shall remain. Where feasible, new connections will be underground.

- (G) Roofs of structures should be constructed of fire-resistant materials such as metal, fiberglass shingle or tile. Roof materials such as cedar shake and shingle should not be used.

Response: The View Point Inn is an existing building on the National Register of Historic Places. The existing roof is sawn cedar shingles and to maintain the historic integrity of the structure, the roof material shall remain cedar shingles. Alternate materials such as fiberglass shingle or tile are not congruous with the Secretary of Interior's Standards for Rehabilitation of Historic Properties, and thus, are not viable options for this property. To accommodate the use of cedar shingles on the roof, an automatic fire sprinkler system will be installed throughout the interior of the building to help mitigate the overall fire risk. Due to the historic nature of the existing building, a **Variance** is requested to allow for a sawn cedar shingle roof.

- (H) Any chimney or stovepipe on any structure for use with a wood stove or fireplace should be screened with no coarser than 1 ¼" mesh metal screen that is noncombustible and corrosion resistant and should be equipped with a spark arrestor.

Response: As noted on the architectural plan and elevation drawings, mesh metal screens shall be installed at all fireplaces and the chimney is to be equipped with a spark arrestor.

- (I) All structural projections such as balconies, decks and roof gables should be built with fire resistant materials equivalent to that specified in the Uniform Building Code.

Response: All structural projections shall be constructed according to Building Code requirements. This requirement shall be addressed as part of the building permit application and review to be completed upon land use approval.

- (J) Attic openings, soffit vents, foundation louvers or other ventilation openings on dwellings and accessory structures should be screened with no coarser than 1 ¼" mesh metal screen that is noncombustible and corrosion resistant.

Response: As noted on the architectural elevation drawings, any ventilation openings shall be screened per this requirement.

MCC 38.7380: Special Uses in Historic Buildings

(A) Definitions

- (1) For the purpose of this section, the term "historic buildings" refers to buildings either on or eligible for the National Register of Historic Places.
- (2) For the purposes of this section, the "subject property" refers to the parcel or group of parcels in common ownership that have been historically used in conjunction with an historic building.

Response: The View Point Inn building has been on the National Register of Historic Places since 1985. A copy of the nomination form has been included with this application. The property located at 40301 E. Larch Mountain Road, Tax Lot 1600 and the adjacent Tax Lot 1500 are under the same ownership and have been historically used in conjunction with the existing historic building.

(C) The following uses may be allowed as established in each zone on a property with a building either on or eligible for the National Register of Historic Places and that was 50 years old or older as of January 1, 2006 subject to compliance with the standards of MCC 38.7000-38.7085, MCC 38.7300 and parts (D), (E), (F) and (G) of this section.

- (2) Overnight accommodations. The room capacity of such accommodations shall be limited to the total number of lawfully existing rooms in the historic building as of January 1, 2006.
- (3) Commercial events in the building or on the subject property, incidental and subordinate to the primary use of the property.
- (6) A conference and/or retreat facility within a historic building, as the building existed as of January 1, 2006.

Response: The View Point Inn was originally constructed in 1924 and has been on the National Register of Historic Places since 1985. The proposed Conditional Use for the property is a retreat facility with overnight accommodations, which are uses that had previously been established for the building as of January 1, 2006. The historic inn featured five guest rooms for overnight accommodations and the proposed development maintains that same capacity. The building has also long been used as a retreat facility, hosting events such as weddings and other gatherings. The proposed development continues this use by creating a spa retreat to enhance the experience and wellness of those who visit the facility. Additionally, a few incidental commercial events are planned throughout the year to establish a greater connection with the local community. Please refer to the Operational Plan that has been included with this application for additional information.

(D) Uses allowed by parts (C)(3) of this section shall include all information required for the "Operational Plan for Commercial Events as specified in MCC 38.7380(F)(1)(b)(iv).

Response: Please refer to the Operational Plan that has been included with this application.

(F) The following criteria apply to all proposed Special Uses in Historic Buildings in addition to the Site Review Criteria of MCC 38.700-38.7085.

(1) Cultural Resources

- (a) All applications for uses listed in MCC 38.7380 (C) shall include a historic survey and evaluation of eligibility for the National Register of Historic Places...The evaluation of eligibility shall not be required for buildings previously determined to be eligible. For such properties, documentation of a prior eligibility determination shall be included in the application.

Response: The View Point Inn building has been on the National Register of Historic Places since 1985. A copy of the nomination form has been included with this application.

- (b) Applications for Special Uses in Historic Buildings shall include a "Protection and Enhancement Plan" which shall include the following:
- (i) A description of how the proposed use will significantly contribute to the protection and enhancement of the historic resource, including specific actions that will be taken towards restoration, protection and enhancement, and adequate maintenance of the historic resource, and a proposed schedule for completion of such actions.
 - (ii) A statement addressing consistency of the proposed use with the Secretary of the Interior's Standards for Rehabilitation of Historic Properties and the Secretary of the Interior's Standards for Preservation of Historic Properties.
 - (iii) Detailed architectural drawings and building plans that clearly illustrate all proposed exterior alterations to the building associated with the proposed use. Any exterior additions to the building or outdoor components of the proposed use (e.g. parking areas, site for temporary structures, interpretive displays) shall be shown on the site plan.
 - (iv) Any proposal for commercial events at a historic property shall include an Operation Plan for Commercial Events, to be incorporated into the "Protection and Enhancement Plan". The Operational Plan shall include sufficient information to demonstrate how the commercial events will remain incidental and subordinate to the primary use of the property, and shall, at minimum, address:
 - Number of events to be held annually.
 - Maximum size of events, including number of guests and vehicles at proposed parking area.
 - Provision for temporary structures, including location and type of structures anticipated.
 - How the proposed commercial events will contribute to protection and enhancement of the historic resource.

Response: Please refer to the "Protection and Enhancement Plan" and "Operational Plan" that have been included with this application.

(2) Scenic Resources

- (a) New parking areas associated with the proposed use shall be located on the subject property as it existed as of January 1, 2006. Such parking areas may be developed using paving blocks, gravel, or other pervious surfaces; asphalt, concrete and other impervious materials are prohibited.
- (b) Parking areas associated with the proposed use shall be visually subordinate from Key Viewing Areas, and shall to the maximum extent practicable, use existing topography and existing vegetation to achieve visual subordination.
- (c) Temporary structures associated with a commercial event (e.g. tents, canopies, portable restrooms) shall be placed on the subject property no sooner than two days before the event and removed within two days after the event. Alternatively, temporary structures may remain in place for up to 90 days in one calendar year if the County determines that they will be visually subordinate from Key Viewing Areas.

Response: The existing gravel parking area on the subject property is to be reused for the proposed use, with a revised layout per the attached drawings and previous comments within this narrative. The location of the parking area to the east of the existing building makes it visually subordinate from any Key Viewing Areas. Should temporary structures be used for any event, the guidelines established in this code shall be followed.

(3) Recreation Resources

The proposed use shall not detract from the use and enjoyment of existing recreation resources on nearby lands.

Response: The proposed use will not detract from the use and enjoyment of any recreation resources nearby. In contrast, rehabilitation of the existing building that is currently in disrepair will visually enhance the visual experience as seen from any nearby areas.

(4) Agricultural and Forest Lands

- (a) The proposed use shall be compatible with and will not interfere with accepted forest or agricultural practices on nearby lands devoted to such areas.
- (b) The proposed use will be sited to minimize the loss of land suitable for production of crops, livestock or forest products.
- (c) A declaration has been signed by the landowner and recorded into the county deeds and records specifying that the owners, successors, heirs and assigns of the subject property are aware that adjacent and nearby operators are entitled to carry on accepted agriculture or forest practices on nearby lands.

Response: The proposed use is a continuation of uses that have previously existed on the subject property, and has thus been compatible with nearby forest and agricultural practices. Since the proposed use is sited at an existing building on the National Register of Historic Places, there will be no loss of land suitable for production of crops, livestock or forest product. As a previously approved use on the subject property, a declaration should already have been recorded into the county deeds. If no declaration currently exists, the owner shall sign one and have it recorded as necessary.

(G) The following standards address health, safety, and potential impacts to surrounding properties and apply to all proposed Special Uses in Historic Buildings.

- (1) Outdoor uses shall be limited to the hours of 7:00 am to 7:00 pm or sunset, whichever is later, except that in between Memorial Day and Labor Day afternoon activities may extend as late as 10 pm.

Response: These limitations shall be observed.

- (2) The use of outdoor amplification in conjunction with a use authorized under this section is prohibited.

Response: No outdoor amplification shall be used.

- (3) Parking shall be provided in accordance with the Minimum Required Off-Street Parking Spaces in MCC 38.4205. Existing off street parking and loading areas on a historic property shall be allowed to be used in their current configuration. New parking areas or expansions to existing parking areas shall meet the design and improvement standards of MCC 38.4100-38.4215 with the following exceptions.

MCC 38.4130(B) and (C) shall not apply to Special Uses in Historic Buildings. All required parking associated with the use shall be provided on the subject property.

Additionally, the surfacing requirements of MCC 38.4180(A) shall not apply. Instead, the surfacing requirements of MCC 38.7380(F)(2)(a) shall be employed.

Response: The existing off-street parking area is to be re-used, with modifications to the layout as indicated in the attached drawings and previous comments within this narrative. The revised layout does not expand the existing parking count or area, and the parking area shall be surfaced with gravel. Please refer to responses given to MCC 38.4100-38.4215 found earlier in this narrative, and drawing sheets C1.0, L1.01 and A0.1 for additional information.

- (4) Business identification or facility entry signs located on the premises may be allowed subject to the provisions of MCC 38.0080.

Response: Should any signs be necessary, the provisions of MCC 38.0080 shall be followed.

- (5) The proposed use shall be compatible with the surrounding area.
- (6) The proposed use shall not create hazardous conditions.

Response: As an existing building that was originally constructed in 1924 and is on the National Register of Historic Places, the proposed use is compatible with the surrounding area. Use of the property as an inn and retreat center has traditionally existed on the site and shall not create any hazardous conditions.

- (7) The proposed use shall not require public services other than those existing or approved in the area.

Response: The proposed use does not require any public services other than those existing or approved in the area.

- (8) If private services will be used, the applicant shall demonstrate the private service is or can be made adequate to serve the use.

Response: If private services are determined to be necessary for this project, appropriate documentation shall be provided.

VIEW POINT INN & WELLNESS CENTER

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C3.0	SEWER AND EROSION CONTROL NOTES AND DETAILS
LANDSCAPE	TREE REMOVAL AND PROTECTION PLAN
L0.0	MATERIALS PLAN
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ARCHITECTURAL

A0.1	SITE PLAN
A1.1	FIRST FLOOR PLAN - PROPOSED
A2.2	SECOND FLOOR PLAN - PROPOSED
A3.1	WEST ELEVATION - PROPOSED
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A3.4	SOUTH ELEVATION - PROPOSED
A3.5	ACCESSORY BUILDING

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1 VICINITY PLAN
SCALE: N.T.S.

GENERAL NOTES

- THE CONTRACTOR, OWNER AND ARCHITECT SHALL BE BOUND TO THE CURRENT EDITION OF ALL DOCUMENTS.
- GENERAL CONDITIONS OF THE CONTRACT, SPECIFICATIONS, AND SCHEDULES SHALL BE USED UNLESS OTHERWISE NOTED.
- THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THE GENERAL NOTES TO THE EXTENT SHOWN.
- THESE DRAWINGS HAVE BEEN PREPARED FOR THE PROJECT LOCATED AT THE ADDRESS NOTED HEREIN. POSSESSION OF THESE DRAWINGS DOES NOT GRANT A LICENSE TO CONSTRUCT OR FABRICATE THE WHOLE OR PARTS OF THIS PROJECT IN OTHER LOCATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON DRAWINGS WITH ACTUAL FIELD CONDITIONS AND CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR IF ACTUAL FIELD CONDITIONS DIFFER FROM THOSE INDICATED IN THE DRAWINGS.
- ALL CONSTRUCTION & MEP SYSTEMS SHALL BE IN COMPLIANCE WITH CURRENT LOCAL CODES & ORDINANCES.
- COORDINATE ALL UTILITIES, JOB SITE CLEAN UP SCHEDULES & REQUIREMENTS WITH TENANT AND/OR BUILDING OWNER.
- INSPECTION AND/OR JOB SUPERVISION IS NOT PROVIDED BY ARCHITECT.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SEPARATE PERMITS FOR ALL DESIGN SYSTEMS.
- ALL ITEMS ARE CONSIDERED NEW UNLESS NOTED EXISTING OR E.S.
- ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DAMAGES TO THE EXISTING BUILDING AND/OR FINISHES CAUSED BY DEMOLITION AND/OR NEW CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO MATCH EXISTING MATERIALS AND FINISHES.
- WHERE APPLICABLE, THE CONTRACTOR IS TO PROTECT EXISTING UTILITIES AND/OR FINISHES WHILE THE PROJECT IS UNDER CONSTRUCTION AND GENERALLY MAINTAIN THE AUTHORITY OF DAMAGE TO THE SITE AS MUCH AS POSSIBLE. WHERE LANDS APPLICABLE, THE CONTRACTOR IS TO NOTIFY THE OWNER WITH ADEQUATE LEAD TIME, SO THAT THE OWNER CHOOSES THE SPECIFICATIONS IN QUESTION CAN BE RELOCATED.

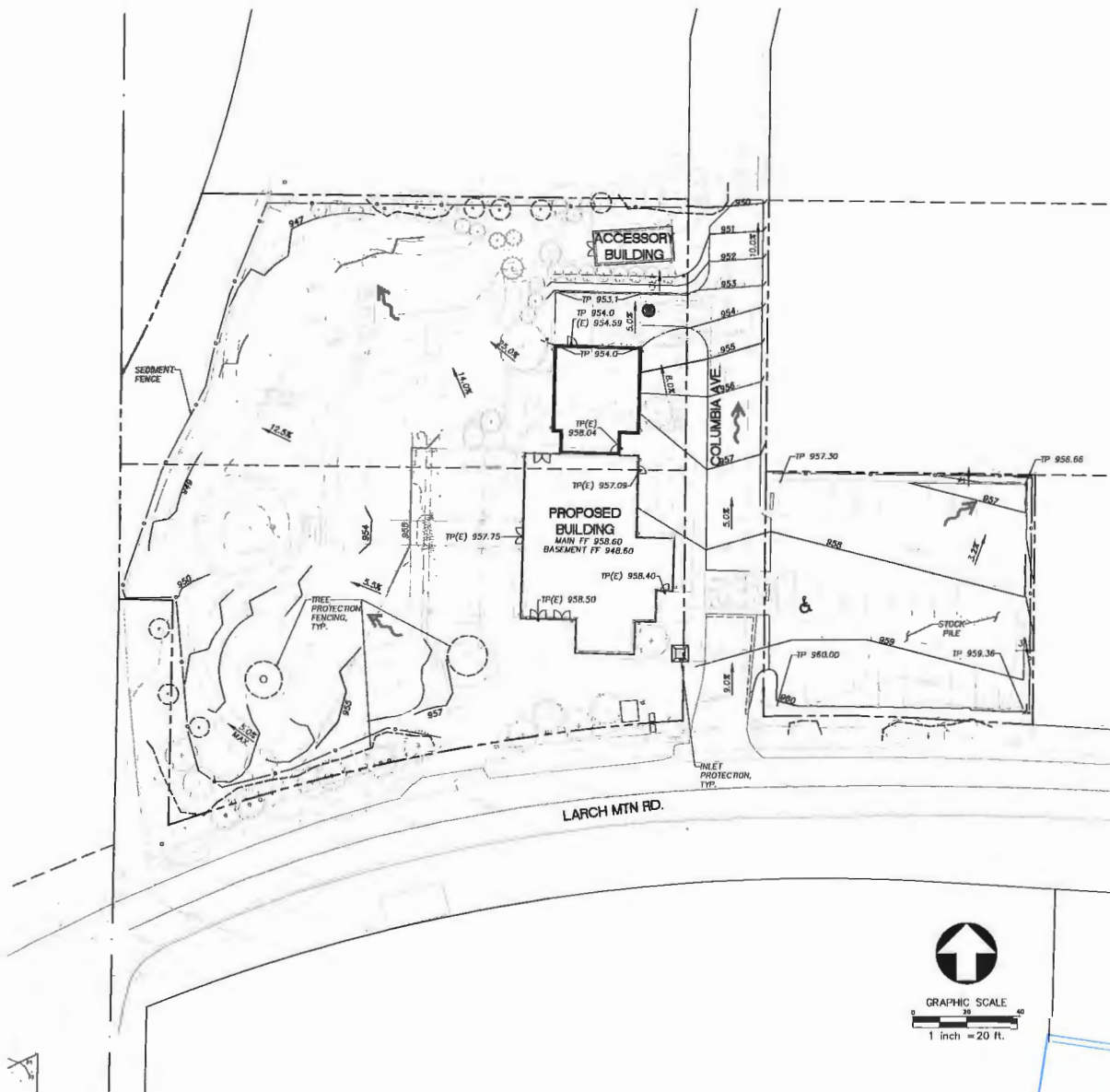
- ALL WINDOWS WITHIN 18" OF FLOOR AND WITHIN 24" OF ANY DOOR TO BE TEMPERED GLAZING, TYP.
- PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN ALL WET LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- OWNER/ARCHITECT TO SELECT AND APPROVE ALL FINISHES (PAINT COLORS, MASONRY, MORTAR, S.C. AND CL. SHEET SELECTION) PRIOR TO PURCHASE OF MATERIALS. CONTRACTOR TO PROVIDE THE OWNER & ARCHITECT WITH A SAMPLE BOARD FOR REVIEW SO THAT THE PROJECT SCHEDULE IS NOT SCORPEDED. WHEN REQUESTED BY THE ARCHITECT, FULL SCALE MOCK UPS OF COLORS AND FINISH ASSEMBLIES SHALL BE TEMPORARILY INSTALLED ON SITE.
- SHOW DRAWINGS AND/OR PRODUCT SPECIFICATION CUT SHEETS SHALL BE PROVIDED FOR THE FOLLOWING:
 - DOORS - WINDOWS
 - CARPENTRY
 - HARDWARE
 - BRICK AND/OR STONE MASONRY
 - LANDSCAPING
 - PAINT COLORS
 - FINISHING COMPONENTS, ACCESSORIES, PRODUCTS & DETAILS
 - FLOORING - LEVELING COMPONENTS
 - MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, FIXTURES - DETAILS
 - ALL STEEL FABRICATION

PROVIDE SUBMITTALS FOR ANY OTHER ITEMS SPECIFIED IN THE A201 GENERAL CONDITIONS. PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL ASSEMBLIES TO BE FABRICATED FOR THE PROJECT. SHOP DRAWINGS OF REDDER DESIGNED ITEMS ARE TO BE PREPARED BY AND BE THE RESPONSIBILITY OF AN DESIGN LICENSED ENGINEER / PRODUCT ENGINEER. SUCH DRAWINGS SHALL BE CERTIFIED THAT THERE HAS BEEN NO DEVIATION FROM THE ARCHITECT'S DESIGN IN ANY WAY. OR SHALL CALL TO THE ATTENTION OF ARCHITECT THAT THE ENGINEER HAS DEVIATED FROM THE ARCHITECT'S DESIGN DRAWINGS. SUCH DEVIATION MAY BE CAUSED BY REVISIONS IN THE SHOP DRAWINGS. THE ARCHITECT WILL MARK UP A MAXIMUM OF FOUR SETS OF SHOP DRAWINGS. FAX OR EMAIL SUBMITTALS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL. ALL SUBMITTALS SHALL BE REVIEWED AND STAMPED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. ALL STRUCTURAL MEMBERS TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC STANDARDS LATEST EDITION.

ARCHITECTURAL ABBREVIATIONS

NOT ALL ABBREVIATIONS MAY BE USED. ABBREVIATIONS MAY BE USED IN CONJUNCTION WITH OTHERS.

4	ANCHOR	C.H.L.	CONCRETE JOINT	E.E.	EXPANSION JOINT	H.E.	HOLE BR	M.D.	MASONRY OPENING	R.D.	RADIUS	T.S.T.	THERMOSTAT
5	ANGLE	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
6	CONCRETE	CER	CERAMIC	DEV.	DEVIATION	H.C.	HOLLOW CORE	MIL	MIL	R.B.	RIBBED BASE	TYP	TYPICAL
7	DIAMETER OR ROUND	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
8	FLARE	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
9	FOOTING OR NUMBER	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
10	FOOTING OR NUMBER	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
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12	FOOTING OR NUMBER	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
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15	FOOTING OR NUMBER	C.L.C.	CORRELATION	ENG.	ENGINEERING	H.M.	HOLLOW METAL	MIL	MIL	R.D.	ROOF DRAIN		
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GRADING NOTES

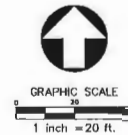
1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND PROTECTION
2. MAJORITY OF CUT WITHIN PROPOSED BUILDING FOOTPRINT IN ORDER TO CREATE FULL BASEMENT. MAJORITY OF FILL IS PARKING AND DRIVE GRAVEL SURFACING.
3. EARTHWORK (EXISTING GRADE TO FINISHED GRADE)
480 CY FILL
1053 CY CUT
813 CY NET FILL

GRADING LEGEND

	STOCKPILE AREA WITH PLASTIC SHEETING	(4) C1.0
	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	(3) C1.0
TC XXXXX	GRADE AT TOP OF CURB	
TP XXXXX	GRADE AT TOP OF PAVEMENT	
FG XXXXX	FINISHED GRADE	
EG XXXXX	EXISTING GRADE	
	ADA ACCESS SEE ENLARGED PLANS	
	SLOPE ARROW	
	GRADE BREAK	
	EXISTING CONTOUR	(1) C1.0
	PROPOSED CONTOUR	(2) C1.0
	SEDIMENT FENCE	(3) C1.0
	DRAINAGE FLOW DIRECTION	
	FILTER FABRIC INLET PROTECTION	
	BIO BAG PROTECTION	
	TREE PROTECTION FENCING	

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		SETBACK LINE
		BLDG OVERHANG
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB, WHEEL STOPS
		STORM PIPE
		CATCH BASIN
		DRYWELL
		FLOW LINE
		SANITARY LINE
		SANITARY CLEANOUT
		SANITARY DRAIN FIELD
		WATER LINE
		WATER METER VAULT
		WATER VALVE
		CONCRETE
		A.C. PAVEMENT
		GRAVEL
		STONE WALKWAY
		STONE WALL
		FENCE
		TREE
		MAIL BOX
		GRAVEL
		BUILDING
		PAVEMENT
		CONCRETE
		WOOD DECKING
		STONE WALL



JAN 26 2018

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.



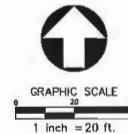
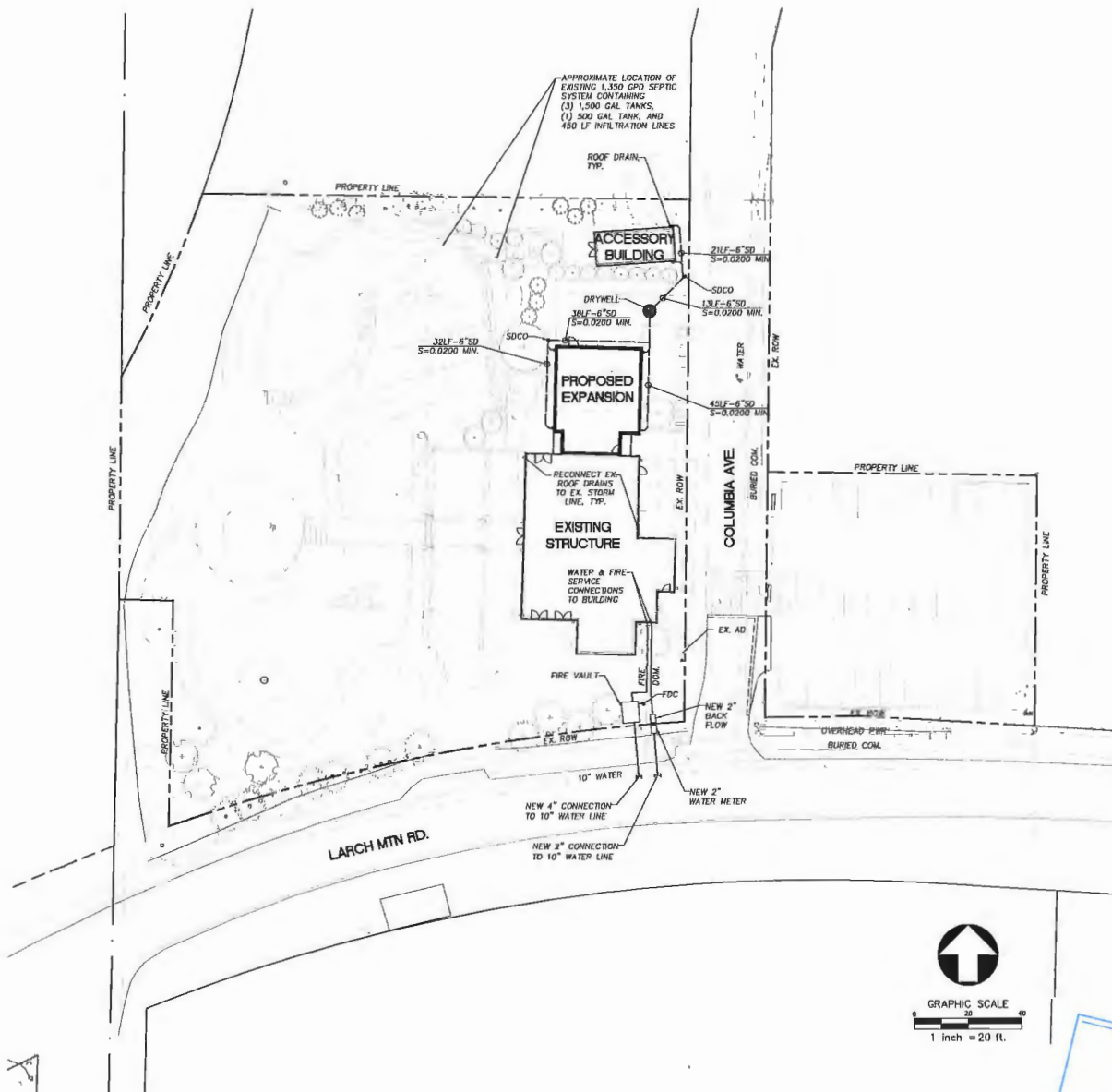
REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

GRADING AND
EROSION CONTROL
PLAN

PROJECT NO: 1723
DRAWN BY: J.W. CHILDS BY: HSF
DATE: 01.19.18

C1.0



UTILITY NOTES

1. ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY CORBETT WATER DISTRICT AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CORBETT WATER DISTRICT MANAGER, JEFF BUSTO (503)695-2284.
2. CONTRACTOR SHALL LOCATE EXISTING SEPTIC FACILITIES PRIOR TO CONSTRUCTION TO VERIFY LOCATION.
3. INSTALL FOUNDATION DRAIN AROUND PERIMETER OF ALL STRUCTURES.
4. CAP AND ABANDON EXISTING WATER SERVICE AT MAIN.

UTILITY LEGEND

- AREA DRAIN, CATCH BASIN, OVERFLOW DRAIN
- CLEAOUT
- ◇ FIRE DEPARTMENT CONNECTION
- ▲ FIRE HYDRANT
- WATER VAULT
- DRYWELL

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	SETBACK LINE
---	---	BUILD OVERHANG
---	---	SAFETY LINE
---	---	EDGE OF PAVEMENT
---	---	CURB, WHEEL STOPS
---	---	STORM PIPE
---	---	CATCH BASIN
---	---	DRYWELL
---	---	FLOW LINE
---	---	SANITARY LINE
---	---	SANITARY CLEAOUT
---	---	SANITARY DRAIN FIELD
---	---	WATER LINE
---	---	WATER METER VAULT
---	---	WATER VALVE
---	---	CONCRETE
---	---	A.C. PAVEMENT
---	---	GRAVEL
---	---	STONE WALKWAY
---	---	STONE WALL
---	---	FENCE
---	---	TREE
---	---	MAIL BOX
---	---	GRAVEL
---	---	BUILDING
---	---	PAVEMENT
---	---	CONCRETE
---	---	WOOD DECKING
---	---	STONE WALL



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REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

UTILITY PLAN

PROJECT NO: 1723
DRAWN BY: JAF CHECKED BY: JAF
DATE: 01/19/18

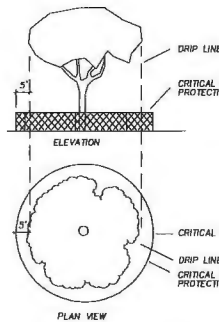
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EROSION CONTROL NOTES

- APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
- THE IMPLEMENTATION OF THESE ESPP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESPP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESPP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESPP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- THE ESPP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
- ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSIDE DRAINAGE SYSTEM.
- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
- IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSIDE TO UPSIDE. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
- CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND 2008 EROSION AND SEDIMENT CONTROL MANUAL.
- SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
- SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
- WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
- IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
- STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
- SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
- ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

SEDIMENT FENCE NOTES

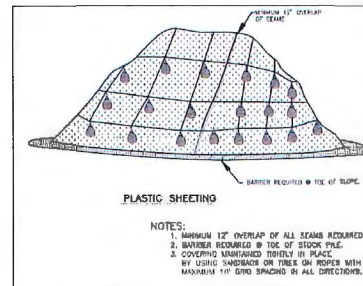
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT SUPPORT POSTS, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 4-INCHES.
- A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDISPOSED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
- STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POSTS. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACING A MAXIMUM OF 6 FEET APART.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
- SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.
- AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADDED DOWD SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED.



NOTES:

- THE ROOT PROTECTION ZONE IS A MINIMUM OF 1 FOOT FOR EVERY 1 INCH OF TREE DIAMETER.
- AT THE PERIMETER OF THE ROOT PROTECTION ZONE THERE MUST BE A 6" TALL CHAINLINK FENCE HAVING 6" POSTS.

5 TREE PROTECTION DETAIL

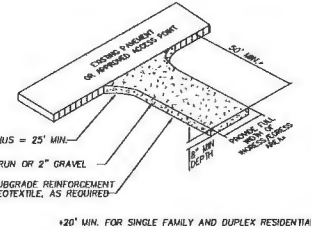


NOTES:

- MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
- BARRIER REQUIRED W/ TOE OF STOCKPILE.
- COVERING UNBURNED TRENCH IN PLACE BY USING SANDWICH OR TRENCH ON ROPE WITH A MAXIMUM 1/2" GIRD SPACING IN ALL DIRECTIONS.

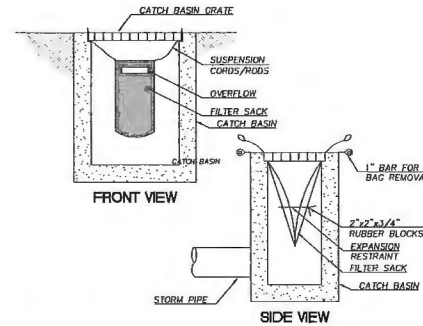
4 PLASTIC SHEETING

NTS



3 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS

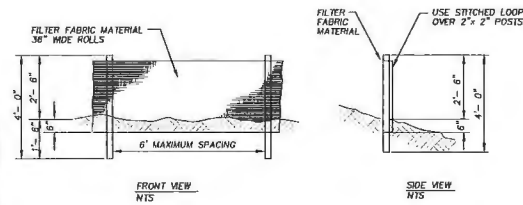


NOTE:

- REPLACE BIOFILTER BAGS WITH INSERT SACKS AFTER THE FIRST LIFT OF PAVING.

2 FILTER FABRIC INLET PROTECTION

NTS

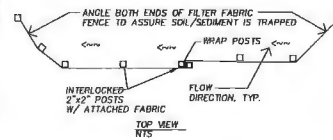


FRONT VIEW

NTS

SIDE VIEW

NTS



TOP VIEW

NTS

NOTES:

- BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
- 2"x2" 2" FIR, PINE OR STEEL FENCE POSTS.
- STITCHED LOOPS TO BE INSTALLED DOWNSIDE OF SLOPE.
- COMPACT ALL AREAS OF FILTER FABRIC TRENCH.

1 SEDIMENT FENCE

NTS

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNLESS A BUILDING PERMIT HAS BEEN ISSUED.



REV.	DATE	DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

SEDIMENT AND
EROSION CONTROL
NOTES AND DETAILS

PROJECT NO: 1723
DRAWN BY: JAF
DATE: 01.19.18

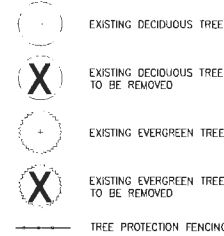
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TREE INVENTORY TABLE

#	TREE SPECIES (Botanical Name - Common Name)	SIZE	STATUS
1	Ilex aquifolium - English Holly	12" DIAMETER	TO REMAIN
2	Ilex aquifolium - English Holly	10" DIAMETER	TO REMAIN
3	Ilex aquifolium - English Holly	12" DIAMETER	TO REMAIN
4	Ilex aquifolium - English Holly	6" DIAMETER	TO REMAIN
5	Ilex aquifolium - English Holly	3" DIAMETER	TO REMAIN
6	Ilex aquifolium - English Holly	5" DIAMETER	TO REMAIN
7	Ilex aquifolium - English Holly	8" DIAMETER	TO REMAIN
8	Alnus rubra - Red Alder	10" DIAMETER	TO REMAIN
9	Pinus nigra - Black Pine	9" DIAMETER	TO REMAIN
10	Pinus nigra - Black Pine	7" DIAMETER	TO REMAIN
11	Acer platanoides - Norway Maple	10" DIAMETER	TO REMAIN
12	Acer platanoides - Norway Maple	18" DIAMETER	TO REMAIN
13	Acer platanoides - Norway Maple	24" DIAMETER	TO REMAIN
14	Pseudotsuga menziesii - Douglas Fir	28" DIAMETER	TO BE REMOVED
15	Pseudotsuga menziesii - Douglas Fir	30" DIAMETER	TO BE REMOVED

#	TREE SPECIES (Botanical Name - Common Name)	SIZE	STATUS
16	Alnus rubra - Red Alder	24" DIAMETER	TO BE REMOVED
17	Alnus rubra - Red Alder	22" DIAMETER	TO BE REMOVED
18	Pseudotsuga menziesii - Douglas Fir	30" DIAMETER	TO REMAIN
19	Prunus sargentii - Sargent Cherry	4" DIAMETER	TO REMAIN
20	Pinus nigra - Black Pine	8" DIAMETER	TO REMAIN
21	Pinus nigra - Black Pine	14" DIAMETER	TO REMAIN
22	Pinus nigra - Black Pine	10" DIAMETER	TO REMAIN
23	Pinus nigra - Black Pine	14" DIAMETER	TO REMAIN
24	Crataegus laevigata - English Hawthorne	18" DIAMETER	TO REMAIN
25	Pinus nigra - Black Pine	8" DIAMETER	TO REMAIN
26	Pinus nigra - Black Pine	9" DIAMETER	TO REMAIN
27	Prunus sargentii - Sargent Cherry	24" DIAMETER	TO REMAIN
28	Acer platanoides - Norway Maple	18" DIAMETER	TO BE REMOVED
29	Acer platanoides - Norway Maple	32" DIAMETER	TO BE REMOVED
30	Acer platanoides - Norway Maple	27" DIAMETER	TO BE REMOVED
31	Acer platanoides - Norway Maple	15" DIAMETER	TO BE REMOVED

TREE REMOVAL LEGEND



TREE REMOVAL NOTES

1. THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
3. TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
4. EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
5. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
6. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
7. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
8. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
9. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
10. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.

REVIEW "CT"
NOT
CONSTRUCTION

REV. #	DATE	DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

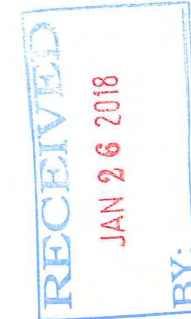
TREE REMOVAL AND
PROTECTION PLAN

PROJECT NO: 1723
DRAWN BY: BETH CHEN BY: JKL
DATE: 01.19.18

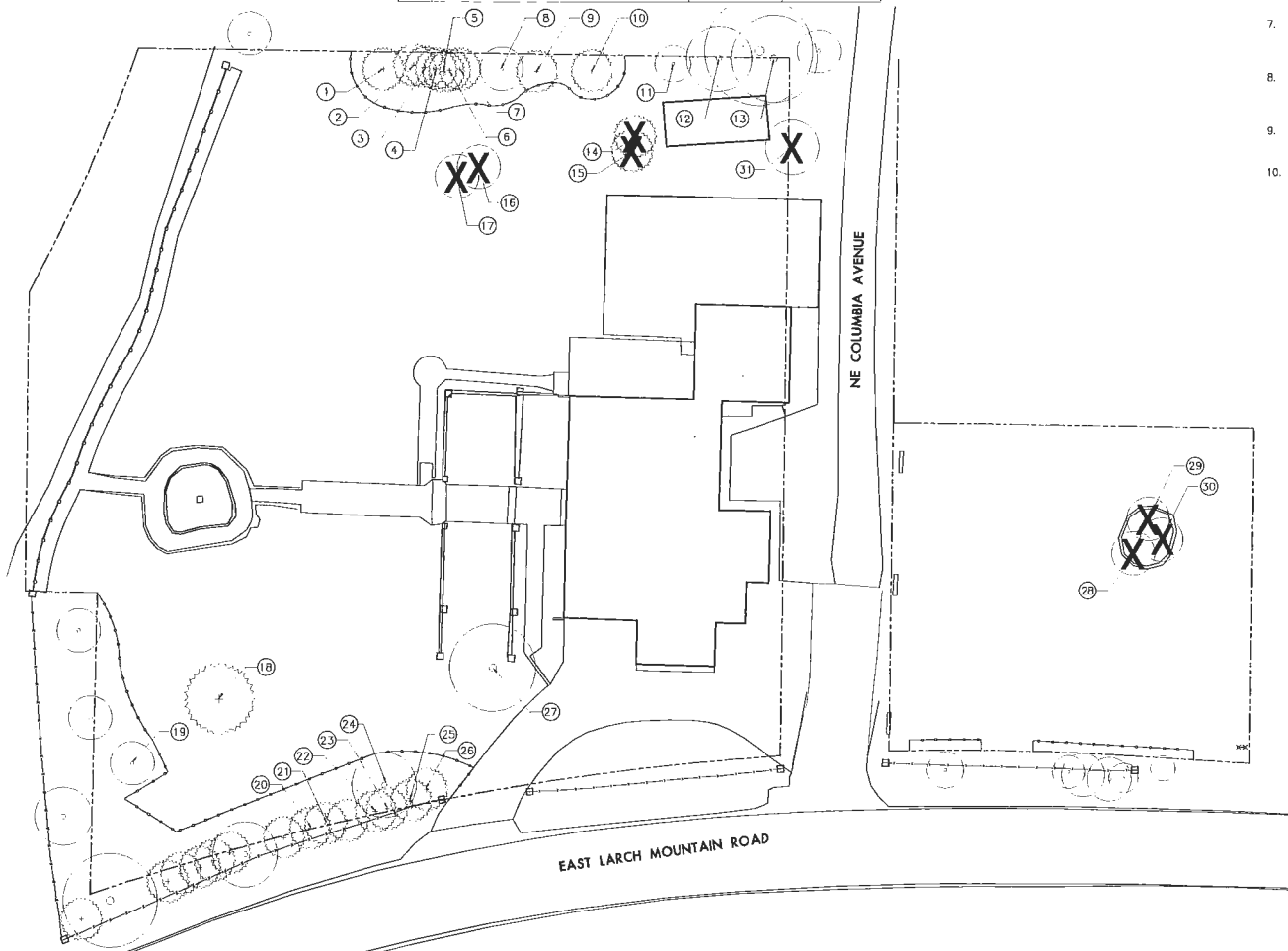
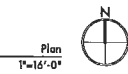
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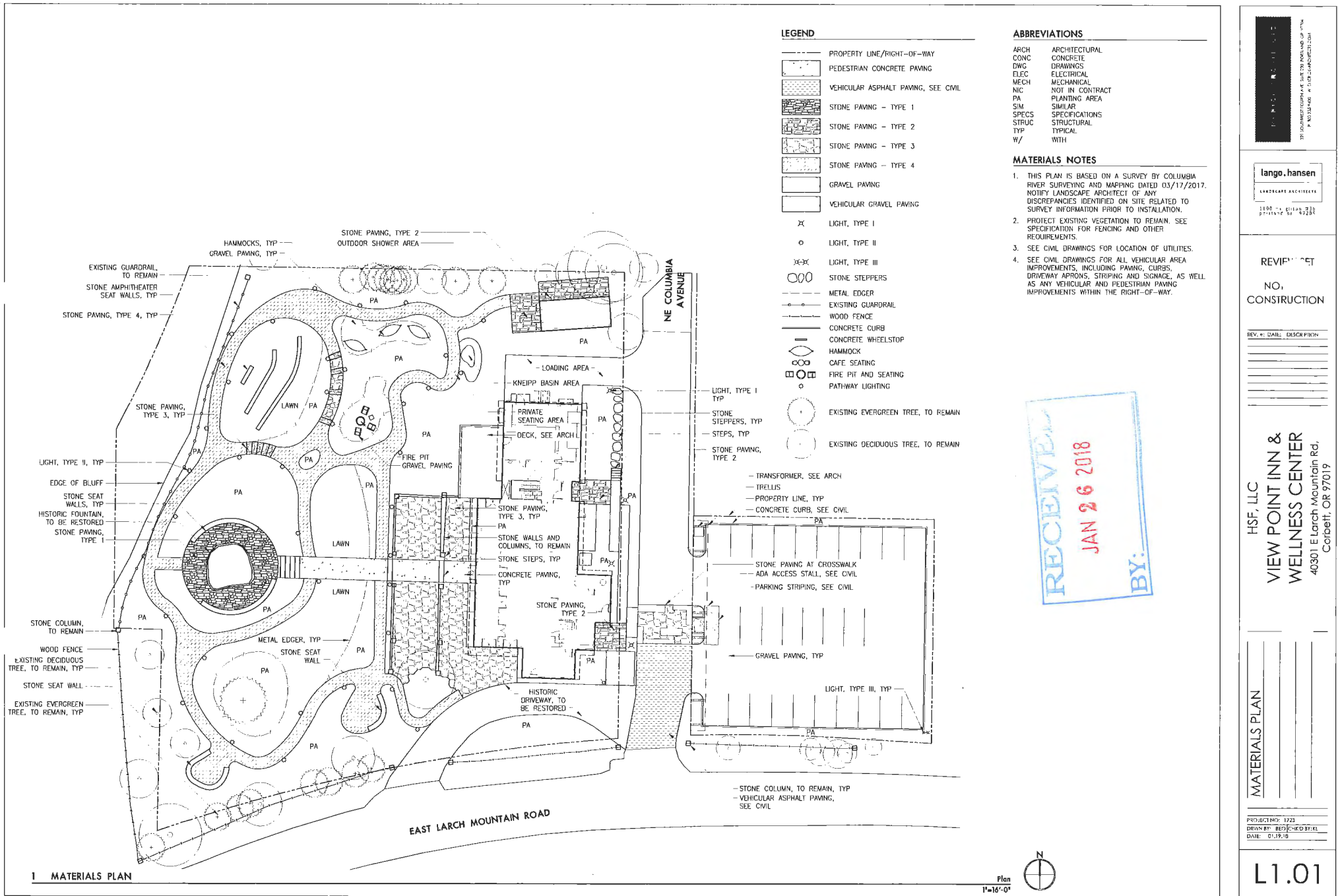


lango.hansen
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1130 NE CLATSOP ST
PORTLAND, OR 97232



1 TREE REMOVAL AND PROTECTION PLAN





PLANT SCHEDULE

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AP	Acer palmatum	Japanese Maple	3" CAL., B&B	as shown
	CK	Camus kouso	Kousa Dogwood	3" CAL., B&B	as shown
	FR	Fargesia rufa 'Green Panda'	Fargesia	#10/CONT	as shown
	MR	Morus rubra	Mulberry Tree	3" CAL., B&B	as shown
	PM	Pinus mugo	Mugo Pine	4' HT., B&B	as shown
	PS	Pinus sylvestris	Scots Pine	7' HT., B&B	as shown

FERN GARDEN					
AFTI	Athyrium filix-femina	Lady Fern	#5/CONT	3' O.C.	
MARE	Mahonia repens	Creeping Mahonia	#1/CONT	18" O.C.	
OSCI	Osmundastrum cinnamomeum	Cinnamon Fern	#5/CONT	2' O.C.	
PATE	Pachysandra terminalis	Japanese Spurge	SP#4	12" O.C.	
POMU	Polystichum munitum	Sword Fern	#5/CONT	3' O.C.	
ORNAMENTAL GARDEN					
BLUM	Buxus microphylla var. japonica	Japanese Boxwood	#3/CONT	2' O.C.	
CASA	Camellia sasanqua 'Marge Miller'	Camellia	#1/CONT	18" O.C.	
LIMU	Liriope muscari	Lilyturf	#1/CONT	18" O.C.	
HAMA	Hakonechloa macro 'Aureola'	Japanese Forest Grass	#3/CONT	18" O.C.	
EASTERN GARDEN					
DADO	Daphne odora	Daphne	#1/CONT	3' O.C.	
NADO	Nandina domestica 'Compacta'	Heavenly Bamboo	#5/CONT	3' O.C.	
OPJA	Ophiopogon japonicus	Mondo Grass	#1/CONT	12" O.C.	
PLJA	Pieris japonica	Pieris	#5/CONT	5' O.C.	
TRJA	Trachelospermum jasminoides	Star Jasmine	#1/CONT	12" O.C.	
ENTRY PLANTING					
EDCH	Edgeworthia chrysantha	Edgeworthia	#5/CONT	3' O.C.	
FOIN	Forsythia x intermedia	Forsythia	#5/CONT	5' O.C.	
SPNI	Spiraea thunbergii	Thunberg Spirea	#5/CONT	4' O.C.	
HERB GARDEN					
ROOF	Rosmarinus officinalis	Rosemary	#5/CONT	30" O.C.	
THSE	Thymus serpyllum	Creeping Thyme	SP#4	12" O.C.	
SCREEN PLANTING					
LOCH	Loropetalum chinense	Chinese Fringe Flower	#5/CONT	4' O.C.	
PILO	Pittosporum tobira	Pittosporum	#5/CONT	5' O.C.	
LAWN					
LAWN	Seeded Lawn				

LEGEND

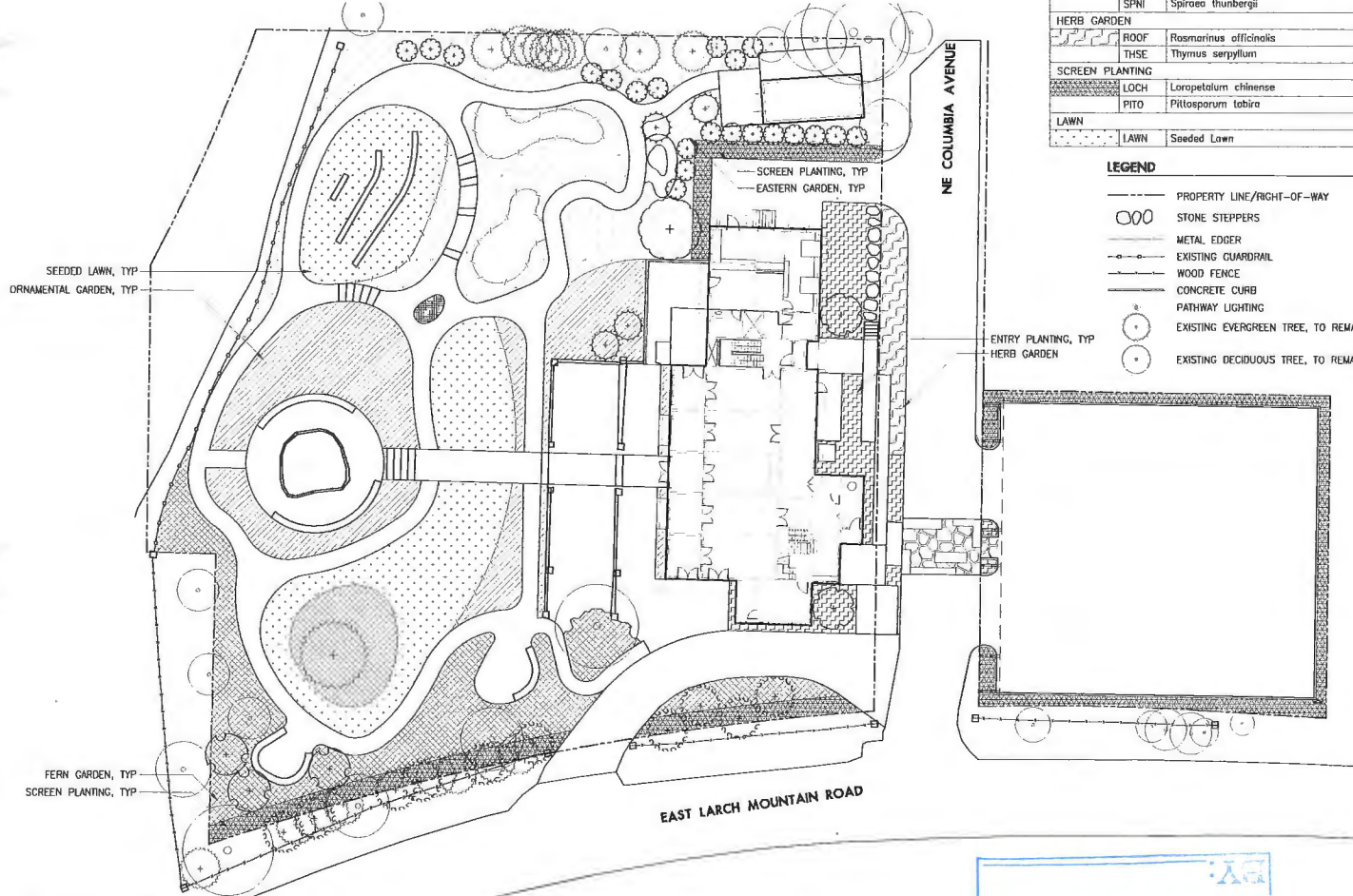
---	PROPERTY LINE/RIGHT-OF-WAY
OOO	STONE STEPPERS
---	METAL EDGER
---	EXISTING GUARDRAIL
---	WOOD FENCE
---	CONCRETE CURB
---	PATHWAY LIGHTING
○	EXISTING EVERGREEN TREE, TO REMAIN
○	EXISTING DECIDUOUS TREE, TO REMAIN

ABBREVIATIONS

B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
HT	HEIGHT
O.C.	ON CENTER
SPECS	SPECIFICATIONS
TYP	TYPICAL
#	CONTAINER SIZE

PLANTING NOTES

- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
- ALL PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
- CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
- TREES TO BE RETAINED AND/OR PLANTED SHALL BE WATERED AS NECESSARY TO MINIMIZE STRESS TO THE TREE, PROMOTE ROOT GROWTH, AND ENSURE SURVIVAL, THROUGHOUT THE CONSTRUCTION PERIOD AND THE FIRST THREE GROWING SEASONS AFTER PLANTING. TREES SHALL BE MULCHED WITH COMPOST MULCH, SEE SPECIFICATIONS. PROTECTIVE BARRIERS SHALL STAY IN PLACE UNTIL PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST. STAKING & FERTILIZING SHALL BE REQUIRED WHERE DEEMED NECESSARY BY PLANNING OFFICIAL.
- ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM EXCEPT RESEEDED DISTURBED AREAS, THOSE ARE TO BE NON-IRRIGATED.



1 PLANTING PLAN

RECEIVED
JAN 26 2018

Plan
1"=16'-0"



lango.hansen
LANDSCAPE ARCHITECTS
1100 NE GLISAD ST
PORTLAND, OR 97232

REVIEW SET
NO
CONSTRUCTION

REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 Elorch Mountain Rd.
Corbett, OR 97019

PLANTING PLAN

PROJECT NO: 1723
DRAWN BY: RED CHECKED BY: RL
DATE: 01/19/18

L2.01

GENERAL SITE PLAN NOTES

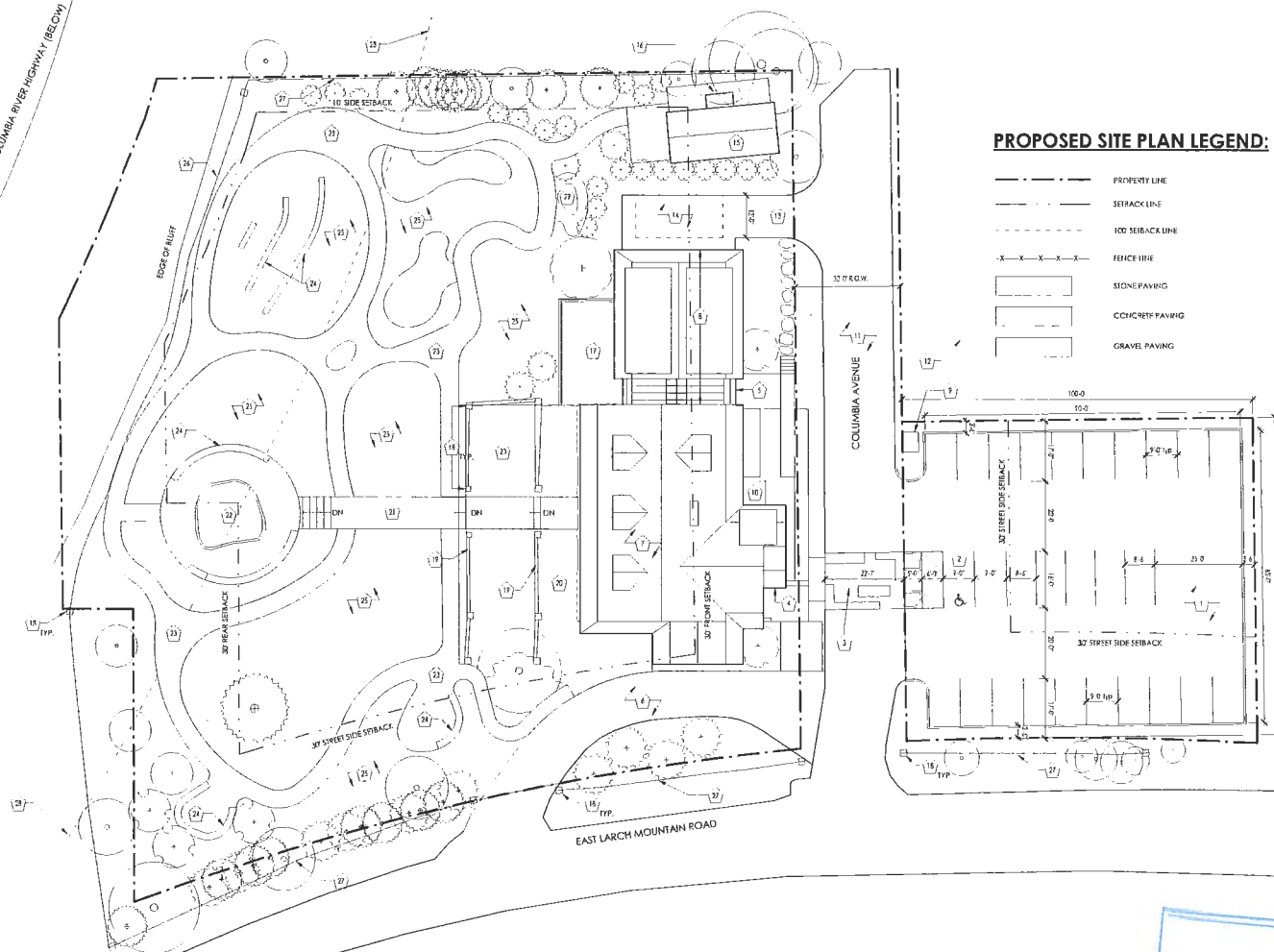
1. COORDINATE ALL SITE WORK WITH CIVIL & LANDSCAPE DRAWINGS
2. ALL PARKING LOT MARKINGS TO BE MAINTAINED PER MULTNOMAH COUNTY CODE STANDARDS
3. REFER TO EXISTING SITE SURVEY FOR ADDITIONAL PROPERTY INFORMATION

PROPOSED SITE PLAN KEYNOTES:

1. EXISTING GRAVEL PARKING AREA TO BE REPAVED. PROVIDE NEW GRAVEL & LAYOUT ACCORDING TO PLANS. PROVIDE 4" THICK CURBS AROUND PERIMETER. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFO
2. ACCESS WALKWAY TO BE PROVIDED
3. NEW PEDESTRIAN CROSSWALK. SEE LANDSCAPE FOR DESIGN
4. NEW ENTRANCE FOR OVERNIGHT ACCOMMODATIONS
5. ENTRANCE FOR WELLNESS CENTER ADJACENT
6. EXISTING HISTORIC DRIVE & ADJACENT ACCESS TO BE REPAVED. REMOVE EXISTING FENCEPOSTS AND PROVIDE NEW GRAVEL SURFACE
7. EXISTING HISTORIC BUILDINGS TO BE REPAVED
8. PROPOSED BUILDING ADDITION & APPROXIMATE LOCATION OF EXISTING, NON-HISTORIC GARAGE TO BE REPAVED
9. PROPOSED ELECTRICAL TRANSFORMER LOCATION TO BE SCREENED OR LOCATED BEHIND GROUP
10. OUTDOOR COOLER FOR KITCHEN. SEE LANDSCAPE PLANS FOR SCREENING
11. EXISTING GRAVEL SURFACE TO COLUMBIA AVENUE TO REMAIN
12. ADJACENT VACANT LOT - NORTH CORNER
13. NEW DRIVEWAY & LOADING AREA TO REPLACE EXISTING CONCRETE DRIVEWAY PAVING
14. 12' X 25' LOADING SPACE
15. EXISTING SINGLE STORY ACCESSORY BUILDING TO BE RECONSTRUCTED
16. OUTDOOR SHOWER AREA TO BE PROVIDED AT NORTH SIDE OF ACCESSORY BUILDING
17. NEW WOOD DECK WITH METAL HANDRAILS TO REPLACE EXISTING DECK
18. EXISTING HISTORIC STONE PILARS TO REMAIN. REPAIR/REPLACE AS REQUIRED
19. EXISTING HISTORIC CROWN STONE WALKS TO REMAIN. REPAIR/REPLACE AS REQUIRED
20. PERVIOUS PAVED PAVING AREA. SEE LANDSCAPE DRAWINGS
21. EXISTING CONCRETE WALKWAY TO BE REPAVED
22. EXISTING FENCEPOSTS TO BE REPAVED
23. PERVIOUS PATHWAY PAVING. SEE LANDSCAPE DRAWINGS
24. STONE SEATING AREA. SEE LANDSCAPE DRAWINGS
25. LANDSCAPE PLANTING AREA. SEE LANDSCAPE DRAWINGS
26. EXISTING GUARDRAIL/FENCE TO REMAIN
27. EXISTING FENCING TO REMAIN. REPAIR AND/OR REPLACE AS NECESSARY
28. LINE ON 100' SETBACK FROM EDGE OF COLUMBIA RIVER HIGHWAY
29. CNRPP WATER BASIN AREA

PROPOSED SITE PLAN LEGEND:

---	PROPERTY LINE
---	SETBACK LINE
---	100' SETBACK LINE
---	FENCE LINE
---	STONE PAVING
---	CONCRETE PAVING
---	GRAVEL PAVING



1 Site Plan
SCALE: 1/16" = 1'-0"



REQUIRED OFF-STREET PARKING PER MCC 38.4205	
OVERNIGHT ACCOMMODATIONS:	5 GUEST ROOMS = 5 PARKING SPACES
RESTAURANT/DINING ROOM:	12250/100sf = 12 PARKING SPACES
SPA FACILITIES (PERSONAL SERVICES):	39750/400sf = 10 PARKING SPACES
COMMUNITY LECTURES:	40 GUESTS MAX (40/3+13)+12 EMPLOYEES MAX (12/2+6) = 19 + 5 = 24
SEASONAL DINNERS:	40 GUESTS MAX (40/3+13)+12 EMPLOYEES MAX (12/2+6) = 19 + 5 = 24
ANNUAL STAFF HOLIDAY PARTY:	80 GUESTS MAXIMUM (80/3+27) = 27
TOTAL PROVIDED: = 27 PARKING SPACES	
TOTAL REQUIRED: = 27 PARKING SPACES	
COMMERCIAL EVENT PARKING:	
NOTES REGARDING COMMERCIAL EVENTS:	
1. TOTAL REQUIRED PARKING FOR COMMUNITY LECTURE + SEASONAL DINNER EVENTS INCLUDES PARKING FOR OVERNIGHT ACCOMMODATIONS	
2. OVERNIGHT ACCOMMODATIONS WILL NOT BE AVAILABLE DURING ANNUAL HOLIDAY PARTY	
3. THE WELLNESS CENTER/SPA FEATURES WILL NOT BE OPEN DURING COMMERCIAL EVENTS	

REVISED ARCHITECTS

CONSULTANT
LOGO
SPACE

REVIEW
NOT
CONSTRUCTION

REV. #	DATE	DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

SITE PLAN

PROJECT NO: 1723
DRAWN BY: JC [CHECKED BY: JH]
DATE: 1/19/2018

A0.1

PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS - FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL RIPRAP TO BE SCREENED W/ NO COARSER THAN 1 1/4" MESH MATERIAL THAT IS NON-COMBUSTIBLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR 4" FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TUBULAR WATER DRAINAGE
3. DOUBLE HEIGHT SPACE
4. WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
5. RESTORE (R) RIVER ROCK FIREPLACE - HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. NEW WALL-BR COOLER
8. SEE MATERIALS SHEET LUR-XX FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9. NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE IN BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (R) SECOND FLOOR FIREPLACE



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

RECEIVED
JAN 26 2018
BY:

EMERICK ARCHITECTS
3712 N. 10TH AVE. SUITE 100
DENVER, CO 80202
P: 303.733.1100
WWW.EMERICKARCHITECTS.COM

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HSF, LLC
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40301 E Larch Mountain Rd.
Corbett, OR 97019

BASEMENT FLOOR
PLAN - PROPOSED

PROJECT NO: 1723
DRAWN BY: JC (CHD BY: END)
DATE: 1/19/2018

A2.1

LAND USE SUBMITTAL

PLAN LEGEND:

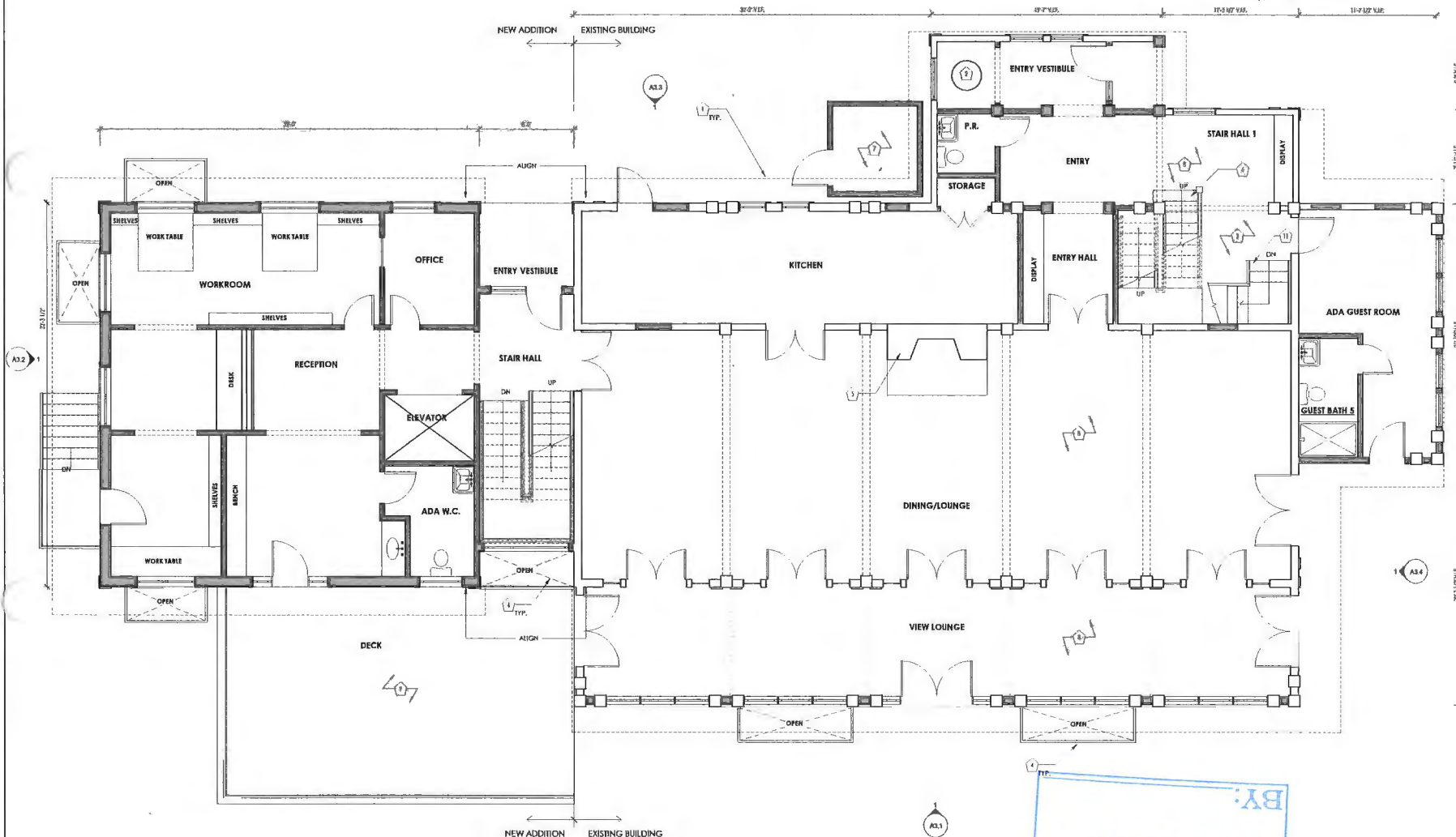
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED WITH COARSER THAN 1/4" MESH METAL THAT IS NON-COMBUSTIBLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. ISOLATED WATER BLESSING
3. DOUBLE HEIGHT SPACE
4. WINDOW WELL TO BASEMENT, SEE EXT. ELEVATION
5. RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. NEW WALK-IN COOLER
8. SEE MATERIALS SHEET LUR-01 FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9. NEW WOOD DECK, SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (B) SECOND FLOOR FIREPLACE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

RECEIVED
JAN 26 2018
BY:

CHERIE ARCHITECTS
200 BROADWAY, SUITE 1000, NEW YORK, NY 10038
P: 212 512 1000 W: WWW.CHERIEARCHITECTS.COM

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SPACE

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REV.	DATE	DESCRIPTION

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Corbett, OR 97019

FIRST FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
DRAWN BY: JIC (CHD-BY-SEND)
DATE: 1/19/2018

A2.2

LAND USE SUBMITTAL

PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- ITEM ABOVE

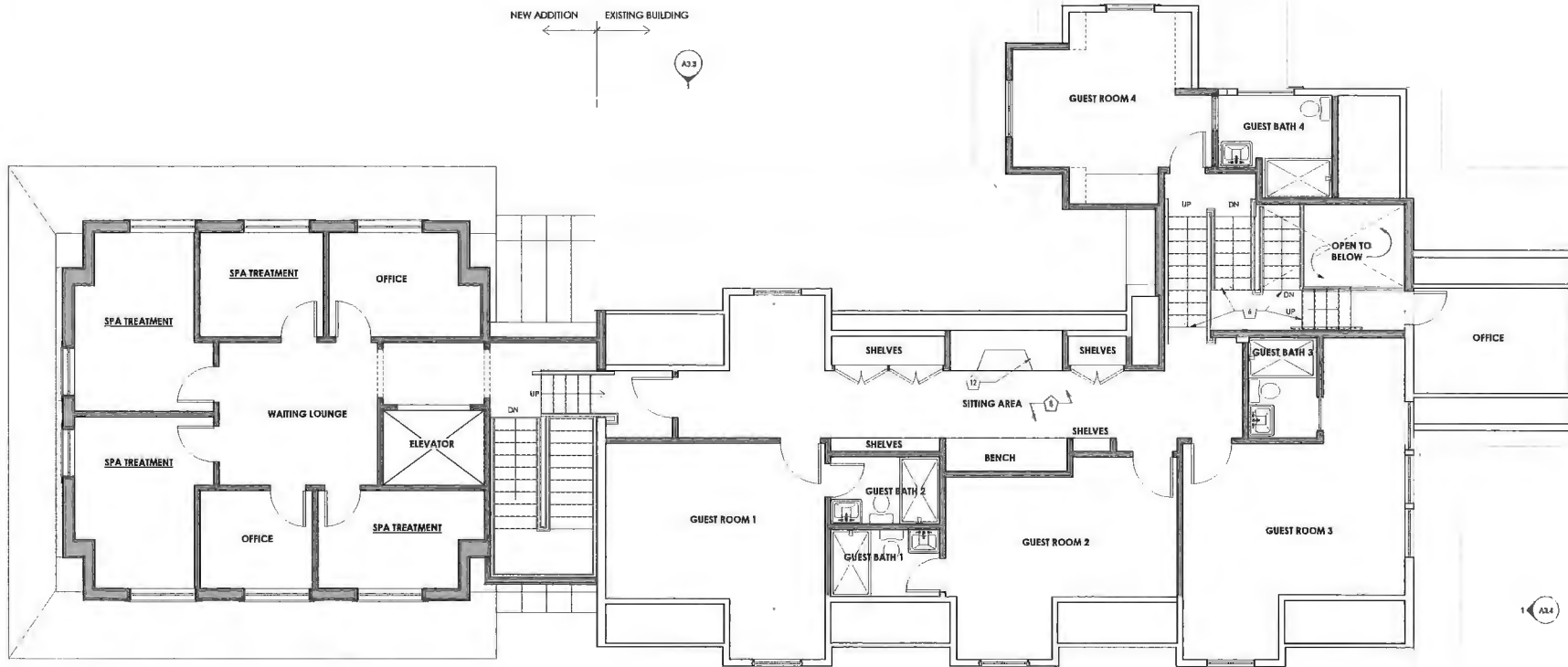
PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER-FOUNDED-IRON WALLS TO 36" P. CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COASER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTIBLE CONSTRUCTION FIRESTOP
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TITUBURN WATER BLESSING
3. DOUBLE HEIGHT SPACE
4. WINDOW WELL TO BASEMENT, SEE EXT. ELEVATION
5. RESTORE (R) BYRON ROCK FIREPLACE + HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. NEW WALK-IN CLOSET
8. SEE MATERIALS SHEET (LUR-XX) FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9. NEW WOOD DECK, SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (R) SECOND FLOOR FIREPLACE

NEW ADDITION EXISTING BUILDING



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEW ADDITION EXISTING BUILDING



CONSULTANT
LOGO
SPACE

REVIEW
NOT FOR
CONSTRUCTION

REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

SECOND FLOOR PLAN -
PROPOSED

PROJECT NO. 1725
DRAWN BY: JC CHECKED BY: KMD
DATE: 1/19/2018

A2.3

LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE IF E.C. TO ALLOW MATCHING OF NEW MATERIALS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

- 1 MATCH (B) ROUGH HEWN BARKER TRIM
- 2 REPAIR & REFINISH (B) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (B) WHERE HISTORIC TRIM NOT SALVAGEABLE
- 3 NEW BARKER CEDAR SHINGLE ROOF TO MATCH (B) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (B) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR & NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 8 NEW COPPER BRANDING BEAM ROOF, FIN. PAINTED TO ACHIEVE WEATHERED LOOK
- 9 NEW WINDOW WELL TO BATHHOUSE, TYP.
- 10 NEW CORNER IN LOCATION OF PREVIOUS DOOR/VER. PATCH & REPAIR AS REQ.
- 11 NEW BRIDGE SKYLIGHT
- 12 NEW WOOD DECK W/ PFD METAL RAILINGS
- 13 MATCH (B) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENING
- 15 NEW PARCELED CONCRETE BASE AT ADDITION
- 16 MATCH BLOPP & FLARE OF (B) BRIDGING ROOF
- 17 WALK-IN COOLER SHOWN DASHED-IN TO BE SCREENED BY LANDSCAPE MATERIALS
- 18 MATCH (B) HISTORIC TRIM
- 19 NEW CEDAR SHINGLE SIDING TO MATCH (B) SHINGLES SALVAGED DURING DEMO
- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (B) ROUGH HEWN BARKER TRIM TO REMAIN, REPAIR AS NEC.
- 22 NEW COPPER OUTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED

NEW ADDITION ← → EXISTING BUILDING



1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

RECEIVED
JAN 26 2018
BY:

SPECTRA ARCHITECTS
3000 NE 10th Ave, Suite 200
Portland, OR 97232
P: 503.247.4000 W: AMERICAARCHITECTS.COM

CONSULTANT

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REV. #1: DATE: DESCRIPTION

HSF, LLC

VIEW POINT INN & WELLNESS CENTER

40301 E Larch Mountain Rd., Corbett, OR 97019

WEST ELEVATION - PROPOSED

PROJECT NO: 1723

DRAWN BY: JC CHECKED BY: JMD

DATE: 1/19/2018

A3.1

LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MATCHED OR EQUIVALENT.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS.
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK.
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-CORRODIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN.

PROPOSED ELEVATION KEYNOTES:

- 1 MATCH (E) ROUGH HEVIN TIMBER TRIM
- 2 REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
- 3 NEW SAHM CEDAR SHINGLES ROOF TO MATCH (E) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED, PROVIDE SPARK ARRESTOR & NEW CEMENTY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 8 NEW COPPER STANDING SEAM ROOF, PREPARED TO ACHIEVE WEATHERED LOOK
- 9 NEW WINDOW WELL TO BASEMENT, TYP.
- 10 NEW DOWNSPUT IN LOCATION OF EXISTING DOWNSPUT. PATCH + REPAIR AS REQ.
- 11 NEW RIDGE SKYLIGHT
- 12 NEW WOOD DECK W/ PTD METAL BALUSTS
- 13 MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENINGS
- 15 NEW PAVED CONCRETE BASE AT ADDITION
- 16 MATCH SLOPE + FLARE OF (E) SHEDDING ROOF
- 17 WALK-IN COOLER SHOWN DASHED-IN TO BE SCREENED BY LANDSCAPE MATERIALS
- 18 MATCH (E) HISTORIC TRIM
- 19 NEW CEDAR SHINGLES TO MATCH (E) SHINGLES SALVAGED DURING DEMO
- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (E) ROUGH HEVIN TIMBER TRIM TO REMAIN, REPAIR AS REQ.
- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTENSION LIGHT FIXTURE, TYP. WHERE INDICATED



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



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REV. # DATE DESCRIPTION

HSF, LLC
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40301 El Larch Mountain Rd.
Corbett, OR 97019

NORTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRAWN BY: JC [CHECKED BY: RMD]
DATE: 1/19/2018

A3.2

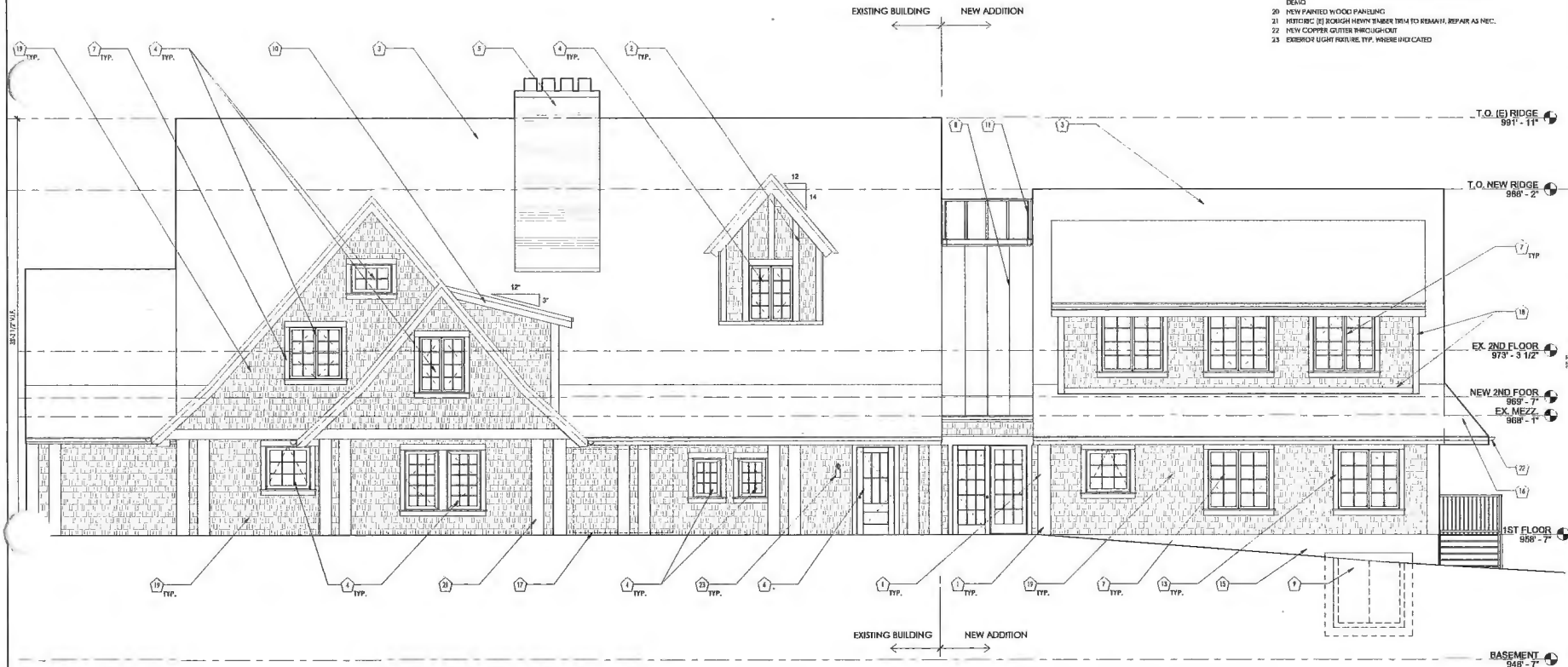
LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILES AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS.
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK.
4. ANY AT-RISK OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1/4" MAXIMUM MESH METAL SCREEN.

PROPOSED ELEVATION KEYNOTES:

1. MARVIN (E) ROUGH HENRY TRIMBER TRIM
2. REPAIR & RESTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
3. NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
4. NEW WINDOW AT EXISTING OPENING. TYP.
5. (D) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR & NEW CHIMNEY CONSTRUCTION
6. NEW WOOD DOORS: DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
7. NEW WOOD WINDOWS: DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
8. NEW COPPER STANDING SEAM ROOF, PRE-PARNAIZED TO ACHIEVE WEATHERED LOOK
9. NEW WINDOW WELL TO BASEMENT. TYP.
10. NEW DORMER IN LOCATION OF PREVIOUS DORMER. PATCH & REPAIR AS REQ.
11. NEW RIDGE SKYLIGHT
12. NEW WOOD DECK W/ FRO-METAL RAILINGS
13. MATCH (E) WINDOW TRAIL AT ALL NEW ADDITION WINDOWS
14. NEW DOORS AT EXISTING OPENING
15. NEW FANDED CONCRETE BASE AT JACKSON
16. MATCH SLOPE & FLARE OF (E) BUILDING ROOF
17. WALK-IN COOLER SHOWN DASHED IN TO BE SCREENED BY LANDSCAPE MATERIALS
18. MATCH (E) HISTORIC TRIM
19. NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
20. NEW PAINTED WOOD PANELING
21. HISTORIC (E) ROUGH HENRY TRIMBER TRIM TO REMAIN. REPAIR AS NEC.
22. NEW COPPER GUTTER THROUGHOUT
23. EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



EMERSON ARCHITECTS
1000 N. 10TH AVE. SUITE 100
P. 503.240.1000 F. 503.240.1001

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REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

EAST ELEVATION -
PROPOSED

PROJECT NO: 1723
DRAWN BY: JC (CHECKED BY: RAD)
DATE: 1/19/2018

A3.3

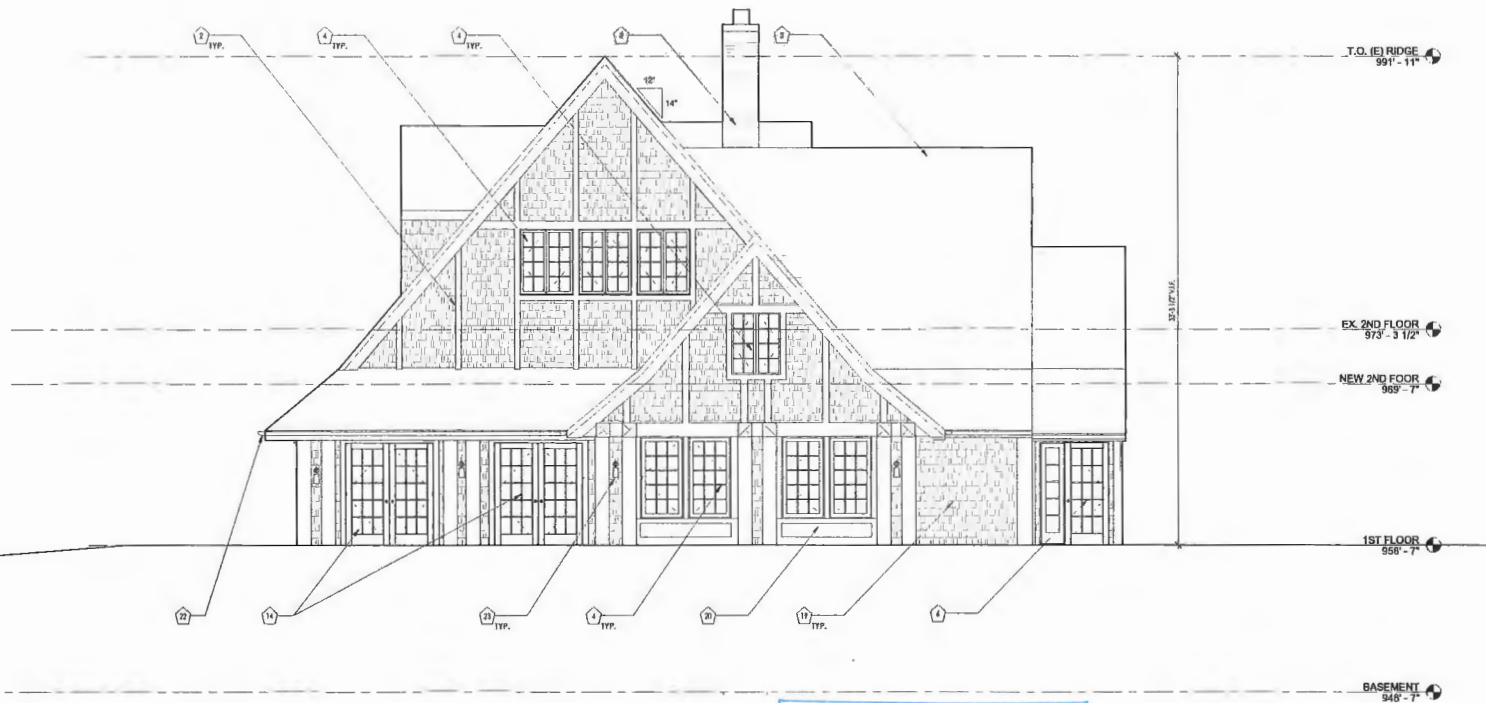
LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE HARNYIN OR EQUIVALENT
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATRIC OPENINGS, SLOTTED VENTS, FOUNDATION LOWERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1/4" MAXIMUM MESH RADIAL SCREEN

PROPOSED ELEVATION KEYNOTES:

1. MATCH (E) ROUGH HEMLOCK TRIM
2. REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS, REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
3. NEW SAHIN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
4. NEW WINDOW AT EXISTING OPENING, TYP.
5. (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED, PROVIDE SPARK ARRESTOR & NEW CHIMNEY CONSTRUCTION
6. NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
7. NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
8. NEW COPPER STANDING SEAM ROOF, PRE-PATHEMED TO ACHIEVE WEATHERED LOOK
9. NEW WINDOW WELL TO BASEMENT, TYP.
10. NEW DORMER IN LOCATION OF PREVIOUS DORMER, PATCH + REPAIR AS REQ.
11. NEW RIDGE SKEWLIGHT
12. NEW WOOD DECK W/ PTD METAL RAILINGS
13. MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
14. NEW DOORS AT EXISTING OPENING
15. NEW PARGE CONCRETE BASE AT ADDITION
16. MATCH SLOPE + FLARE OF (E) BUILDING ROOF
17. WALL IN CLOSER SHOWN DASHED TO BE SCREENED BY LANDSCAPE MATERIALS
18. MATCH (E) HISTORIC TRIM
19. NEW CEDAR SHINGLE DOING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
20. NEW PAINTED WOOD PANELING
21. HISTORIC (E) ROUGH HEMLOCK TRIM TO REMAIN, REPAIR AS REQ.
22. NEW COPPER GUTTER THROUGHOUT
23. EXTENSION LIGHT FIXTURES, TYP. WHERE INDICATED



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



EMERICK ARCHITECTS

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REV. #: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

SOUTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRAWN BY: JC [CHECKED BY: KMD]
DATE: 1/19/2018

A3.4

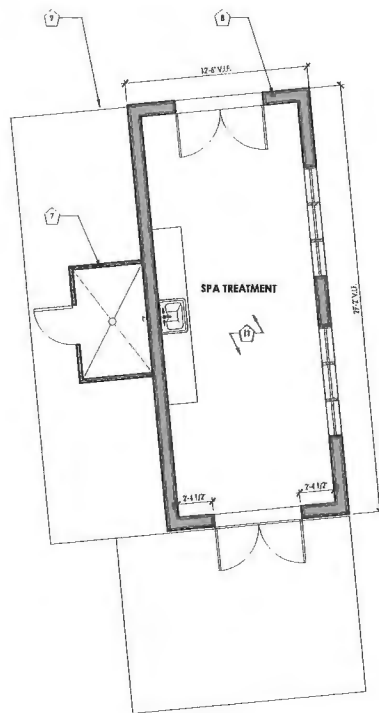
LAND USE SUBMITTAL

ELEVATION NOTES:

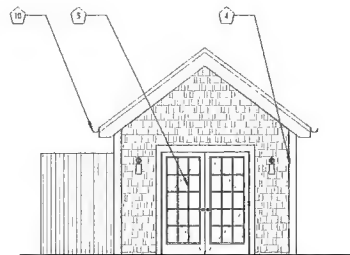
1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE HAWYIN OR EQUIVALENT.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS.
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK.
4. ANY ATTIC OPENINGS, SMOKE VENTS, FOUNDATION ELEVATIONS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED BY A NON-COMBUSTIBLE & CORROSION RESISTANT, 1/4" MAXIMUM MESH METAL SCREEN.

PROPOSED OUTBUILDING KEYNOTES:

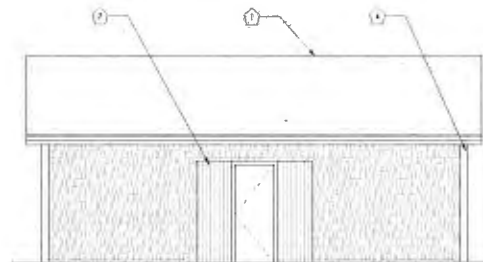
1. NEW SAWN CEDAR SHINGLE ROOF TO MATCH (B) ORIGINAL ROOF OF MAIN BLDG.
2. MATCH (E) WINDOW TRIM AT ALL NEW WINDOWS.
3. NEW ALUMINUM CLAD WOOD WINDOWS TO MATCH MAIN BLDG. DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE.
4. MATCH (B) HISTORIC TRIM.
5. NEW ALUMINUM CLAD WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE.
6. NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO.
7. OUTDOOR SHOWER WITH NATURAL WOOD ENCLOSURE.
8. RECONSTRUCT ACCESSORY BUILDING ON EXISTING FOOTPRINT.
9. TERRACE: SEE LANDSCAPE DRAWINGS.
10. NEW COPPER GUTTER THROUGHOUT.
11. REPAIR OR REPLACE EXISTING SLAB ON GRADE AS NECESSARY.
12. EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED.



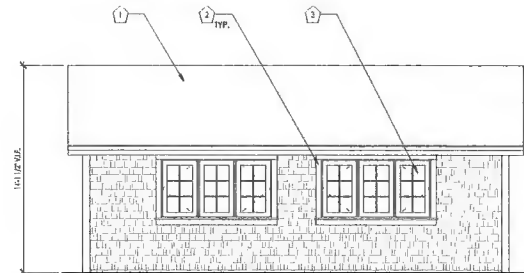
1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



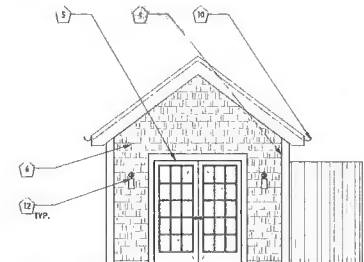
2 WEST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"

EMERICK ARCHITECTS

REGISTERED ARCHITECTS AND LANDSCAPE ARCHITECTS
IN THE STATE OF OREGON

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CONSTRUCTION

REV. # DATE DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

ACCESSORY BUILDING

PROJECT NO: 1723
DRAWN BY: JIC
DATE: 1/17/2018

A3.5

LAND USE SUBMITTAL



VIEW POINT INN AND WELLNESS CENTER

RENDERED WEST ELEVATION
01.19.18



tabbies®

A-6

EXHIBIT

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

EXISTING VIEW FROM WOMEN'S FORUM
01.09.18



EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

NEW VIEW FROM WOMEN'S FORUM

01. 9 18



EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

KEY VIEWING AREAS
01.19.18



EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTO EXTERIOR
01.19.18



WINDOW PATTERN PREDECENT
19



AERIAL SITE PHOTO
c 1960



NATIONAL REGISTER - EAST
1984



NATIONAL REGISTER - SW CORNER
1984



NATIONAL REGISTER - WEST
1984



NATIONAL REGISTER - NW CORNER
1984

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTOS INTERIOR
01.19.18



GREAT HALL
UNKNOWN



ENTRY HALL STAIR
c. 1984



ENCLOSED VERANDA
UNKNOWN



SECOND FLOOR FIREPLACE
1984



GREAT HALL FIREPLACE
c. 1984

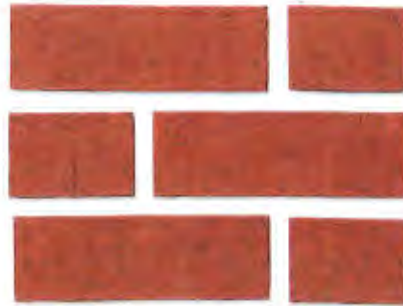


NATIONAL REGISTER - OPEN VERANDA
1984

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

EXTERIOR MATERIALS
01.19.18



BRICK CHIMNEY

Material Materials
Columbia Red, Mission Green



SAWN CEDAR SHINGLE ROOF

Match size, texture and original roof found under existing shakes



STANDING SEAM COPPER ROOF

At New Stair Connection
Pre-Patinated for Aged Appearance



CEDAR SHINGLE SIDING + WOOD TRIM

Match existing size - 1/4" visible - and texture
Match historic black + white color scheme



ROUGH HEWN WOOD TRIM

Match existing size and color

EMERICK ARCHITECTS

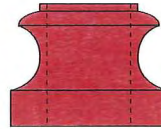
VIEW POINT INN AND WELLNESS CENTER

EXTERIOR SPECIFICATIONS
01.19.18



EXTERIOR WALL LANTERN
Hinkley Adair
Aged Zinc finish

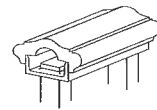
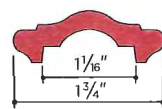
354



Square Hole

EXTERIOR TERRACE POST, BASE

Julius Blum 369
Black painted finish

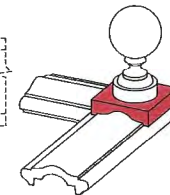
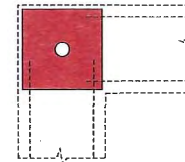


4429 used with 1" channel

■ 4429 Prime Domestic Steel 1.50 lb/ft
Fittings: B-C-CC-CL-CR-E-F-GL-GR-JL-JR-L-N-S-
SL-SR-T-U-UC-UL-V

EXTERIOR TERRACE HANDRAIL

Julius Blum 4429
Black painted finish



EXTERIOR TERRACE FINIALS

Julius Blum 3543
Black painted finish



331L
Forged
Steel

EXTERIOR TERRACE STARTING POST



330L
Steel

EXTERIOR TERRACE SPINDLES

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

EXTERIOR LIGHTING
01.19.18



PATHWAY LIGHTING

Bega Bollard
Finish: Graphite
Color Temp: 3000K
LED Bollard
Heights: 7" - 14.25"



PARKING AREA LIGHTING

Bega Small Scale Floodlight + 18' H. Steel Pole
Finish: Black
Color Temp: 4000K
LED Floodlight



EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS
01.19.18



EXISTING GREAT ROOM WALL CEILING

Replace existing non-historic wallboard with sand-finished plaster to match historic finish



EXISTING GREAT ROOM FIREWALL PANELLING

Match profile throughout, refer to interior elevation for panel layout



EXISTING FIR NEWELL POST

To be salvaged, repaired, and relocated to new stair location



EXISTING DOOR CASING

Match size and detail for new casings throughout

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS
01.19.18



EXISTING VERANDA CEILING

Replace with new 3 1/4" tongue and groove boards w/beveled edges to match existing historic ceiling



FLOORING THROUGHOUT

Replace with new 2 1/4" maple flooring to match historic floor



EXISTING GREAT HALL FIREPLACE

Restore existing river rock fireplace and wood mantle



EXISTING SITTING ROOM FIREPLACE

Restore existing painted wood surround and reinstate in Sitting Room

EMERICK ARCHITECTS

THE PURPOSE OF THIS SURVEY IS TO RETRACE THE BOUNDARY OF LOTS 1 AND 2 OF BLOCK 1 AND LOT 2 OF BLOCK 2 OF THE RE-PLAT OF PARTS OF BLOCKS 1 AND 2 OF THOR'S HEIGHTS ADDITION.

N.A.D.83 (2011) (EPOCH 2010.00) OREGON STATE PLANE, NORTH ZONE, GRID BEARINGS.



RENEWS: 12/31/2017

**1767 12th St, #191
HOOD RIVER, OREGON, 97031
PHONE: 541-386-9002
EMAIL: INFO@COLUMBIASURVEYING.COM**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	746.30'	21.43'	21.43'	S 70°21'13" W	1°38'43"
C2	746.30'	30.06'	30.06'	S 67°21'25" W	2°18'27"
C3	746.30'	65.45'	65.43'	N 86°58'37" W	5°01'29"
C4	746.30'	20.20'	20.20'	S 68°45'21" W	1°33'02"

S.N. SURVEY NUMBER, MULTNOMAH COUNTY SURVEY RECORDS.

MULTNOMAH COUNTY, OREGON.

VIEW POINT INN & WELLNESS CENTER

DRAWING INDEX

GENERAL		ARCHITECTURAL	
G0.0	INDEX, PROJECT INFORMATION, VICINITY MAP	A0.1	SITE PLAN
G1.0	SURVEY - EXISTING		
CIVIL		A2.1	BASEMENT FLOOR PLAN - PROPOSED
C1.0	GRADING AND EROSION CONTROL PLAN	A2.2	FIRST FLOOR PLAN - PROPOSED
C2.0	UTILITY PLAN	A2.3	SECOND FLOOR PLAN - PROPOSED
C3.0	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS		
LANDSCAPE		A3.1	WEST ELEVATION - PROPOSED
L0.01	TREE REMOVAL AND PROTECTION PLAN	A3.2	NORTH ELEVATION - PROPOSED
L1.01	MATERIALS PLAN	A3.3	EAST ELEVATION - PROPOSED
L2.01	PLANTING PLAN	A3.4	SOUTH ELEVATION - PROPOSED
		A3.5	ACCESSORY BUILDING

PROJECT TEAM

ARCHITECTURE	OWNER	CIVIL ENGINEER	MEP ENGINEER
Emerick Architects P.C. Contact Person(s): Brian Emerick brian@emerick-architects.com Keith Daily keith@emerick-architects.com 321 SW 4th Ave., Suite 200 Portland, OR 97204 503.235.9400 STRUCTURAL Grummel Engineering, LLC Contact Person(s): Robert Grummel bob@grummelengineering.com Eric Pfau eric@grummelengineering.com 920 SW 3rd Ave #200 Portland, OR 97204 503.244.7014	HSF, LLC PO Box 70, Corbett, OR 97019 <u>OWNER'S REP/HISTORICAL CONSULTANT</u> Venerable Properties Contact Person(s): Jessica Engeman jessica@venerableproperties.com 1111 NE Flanders Street, Suite 206 Portland, OR 97232 503.224.2446 <u>LANDSCAPE ARCHITECT</u> Lango Hansen Contact Person(s): Kurt Lango kurt@lango-hansen.com 1100 NW Glisan St., #38 Portland, OR 97209 503.295.2437	Humber Design Group Contact Person(s): Martha Williamson martha.williamson@hgdgpd.com Jenai Fitzpatrick jenai.fitzpatrick@hgdgpd.com 117 SE Taylor St. Suite 001 Portland, OR 97214 503.946.6690 <u>GENERAL CONTRACTOR</u> Schommer & Sons Contact Person(s): Bob Schommer bob@schommer-sons.com Chris McGhie cmcghe@schommer-sons.com 6421 NE Caldwell Way Portland, OR 97218 503.287.4646	MKE Contact Person(s): Rick Dusa rickd@mke-inc.com Steve Lockhart stevl@mke-inc.com 6915 SW Macadam Ave, Suite 200 Portland, OR 97219 503.862.1188



1 VICINITY PLAN
SCALE: N.T.S.

GENERAL NOTES

- THE CONTRACTOR, OWNER AND ARCHITECT SHALL BE BOUND TO THE CURRENT EDITION OF AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. EACH PARTY'S ROLES AND RESPONSIBILITIES SHALL BE LAID FORTH IN THAT DOCUMENT UNLESS MODIFICATIONS ARE AGREED TO BY WRITTEN CONSENT OF THE PARTIES INVOLVED.
- THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THE GENERAL NOTES TO THE EXTENT SHOWN.
- THESE DRAWINGS HAVE BEEN PREPARED SOLELY FOR USE ON THIS PROJECT LOCATED AT THE ADDRESS NOTED HERIN. POSSESSION OF THESE DRAWINGS DOES NOT GRANT A LICENSE TO CONSTRUCT OR FABRICATE THE WHOLE OR PARTS OF THIS PROJECT IN OTHER LOCATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON DRAWINGS WITH ACTUAL FIELD DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR IF ACTUAL FIELD CONDITIONS DIFFER FROM THOSE INDICATED IN THE DRAWINGS.
- ALL CONSTRUCTION & M.E.P. SYSTEMS SHALL BE IN COMPLIANCE W/ CURRENT LOCAL CODES & ORDINANCES.
- COORDINATE HOURS OF OPERATION & JOB SITE CLEAN-UP SCHEDULES & REQUIREMENTS WITH TENANT AND/OR BUILDING OWNER.
- INSPECTION AND/OR JOB SUPERVISION IS NOT PROVIDED BY ARCHITECT.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SEPARATE PERMITS FOR ALL BIDDER DESIGN SYSTEMS.
- ALL ITEMS ARE CONSIDERED NEW UNLESS NOTED EXISTING OR (E).
- ALL DIMENSIONS ARE TO FACE OF GWB FINISH, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DAMAGE TO THE EXISTING BUILDING AND/OR FINISHES CAUSED BY DEMOLITION AND/OR NEW CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO MATCH AT MINIMUM THE CONDITION PRIOR TO THE DAMAGE.
- WHEN APPLICABLE THE CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING WHILE THE PROJECT IS UNDER CONSTRUCTION AND GENERALLY MINIMIZE THE AMOUNT OF DAMAGE TO THE SITE AS MUCH AS POSSIBLE. WHERE LANDSCAPING REQUIRES REMOVAL, THE CONTRACTOR IS TO NOTIFY THE OWNER WITH AMPLE LEAD TIME, SO IF THE OWNER CHOOSES, THE SPECIMENS IN QUESTION CAN BE RELOCATED.
- ALL WINDOWS WITHIN 18" OF FLOOR AND WITHIN 24" OF ANY DOOR TO BE TEMPERED GLAZING, TYP.
- PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN ALL WET LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- OWNER/ARCHITECT TO SELECT AND APPROVE ALL FINISHES (PAINT COLORS, MASONRY, MORTAR, ETC.) AND CUT SHEET SELECTIONS PRIOR TO PURCHASE OR INSTALLATION. CONTRACTOR TO PROVIDE THE OWNER & ARCHITECT WITH AMPLE LEAD TIME FOR REVIEW SO THAT THE PROJECT SCHEDULE IS NOT JEOPARDIZED. WHEN REQUESTED BY THE ARCHITECT, FULL SCALE MOCK UPS OF COLORS AND FINISH ASSEMBLIES SHALL BE TEMPORARILY INSTALLED ON SITE.
- SHOW DRAWINGS AND/OR PRODUCT SPECIFICATION CUT SHEETS SHALL BE PROVIDED FOR THE FOLLOWING:
 - A. DOORS + WINDOWS
 - B. CABINETS
 - C. HARDWARE
 - D. BRICK AND/OR STONE MASONRY
 - E. LANDSCAPING
 - F. PAINT COLORS
 - G. ROOFING COMPONENTS, ACCESSORIES, PRODUCTS + DETAILS
 - H. FLOORING + LEVELING COMPOUNDS
 - I. MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, FIXTURES + DETAILS
 - J. ALL STEEL FABRICATION

PROVIDE SUBMITTALS FOR ANY OTHER ITEMS SPECIFIED IN THE A201 GENERAL CONDITIONS. PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL ASSEMBLIES TO BE FABRICATED FOR THE PROJECT. SHOP DRAWINGS OF BIDDER DESIGNED ITEMS ARE TO BE PREPARED BY AND BEAR THE STAMP OF AN OREGON LICENSED ENGINEER / PRODUCT ENGINEER. SUCH DRAWINGS SHALL CERTIFY THAT THERE HAS BEEN NO DEVIATION FROM THE ARCHITECT'S DESIGN IN ANY WAY, OR SHALL CALL TO THE ATTENTION OF ARCHITECT THAT THE ENGINEER HAS DEVIATED FROM THE ARCHITECT'S DESIGN DRAWINGS. SUCH DEVIATION MAY BE CAUSE FOR REJECTING THE SHOP DRAWINGS. THE ARCHITECT WILL MARK-UP A MAXIMUM OF FOUR SETS OF SHOP DRAWINGS. FAX OR EMAIL SUBMITTALS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL. ALL SUBMITTALS SHALL BE REVIEWED AND STAMPED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. ALL STRUCTURAL MEMBERS TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC STANDARDS LATEST EDITION.

PROJECT INFORMATION

PROJECT ADDRESS:	40301 E Larch Mountain Rd, Corbett, OR 97019
LEGAL DESCRIPTION:	IN-5E-30CC-TAX LOT 1500 & 1600
ALT. ACCOUNT. #:	R82300010 + R82301940
YEAR BUILT:	1924
ZONING DESIGNATION:	GGF-40
MAX HEIGHT ALLOWED:	35'
PROPOSED HEIGHT:	33' - 4" (Existing)
EXISTING LOT SIZE:	TAX LOT 1600: 41,754 SF TAX LOT 1500: 9,725 SF

FLOOR AREAS:	MAIN BUILDING EXISTING:	MAIN BUILDING PROPOSED:
Basement:	1067 SF	4194 SF
First Floor:	3222 SF	4458 SF
Second Floor:	1850 SF	2872 SF
TOTAL:	6139 SF	11524 SF
Accessory Bldg:	425 SF	425 SF

APPLICABLE BUILDING CODES:

- MULTNOMAH COUNTY CODE OF ORDINANCES
- 2014 OREGON STRUCTURAL SPECIALTY CODE

ASSOCIATED PERMITS, APPEALS, L.U.R.'S ETC.

PRE-APPLICATION CONFERENCE NOTES:

CASE FILE NO.: PA 2016 - 6044

ARCHITECTURAL ABBREVIATIONS

NOT ALL ABBREVIATIONS MAY BE USED. ABBREVIATIONS MAY BE USED IN CONJUNCTION WITH OTHERS.

∠	ANGLE	CEM.	CEMENT	E.J.	EXPANSION JOINT	H.B.	HOSE BIB	MTD.	MASONRY OPENING	RAD.	RADIUS	T-STAT.	THERMOSTAT
@	AT	CER.	CERAMIC	ELEV.	ELEVATION	H.C.	HOLLOW CORE	MTL.	MOUNTED	R.B.	RUBBER BASE	TYP.	TYPICAL
CL	CENTERLINE	C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED CONTROL JOINT	ELEC.	ELECTRICAL	HDWD.	HARDWOOD	MUL.	MULLION	R.C.P.	REFLECTED CEILING PLAN	U.L.	UNDERWRITERS LABORATORIES
∅	DIAMETER OR ROUND	CLKG.	CEILING	EMERG.	EMERGENCY	HDWR.	HARDWARE	N.	NORTH	R.D.	ROOF DRAIN	U.N.O.	UNLESS NOTED OTHERWISE
PL	PLATE	CLR.	CLEAR	ENCL.	ENCLOSURE	H.M.	HOLLOW METAL	N.I.C.	NOT IN CONTRACT	REF.	REFERENCE OR REFER		
#	POUND OR NUMBER	CMU	CONCRETE MASONRY UNIT	ENGR.	ENGINEER	HORIZ.	HORIZONTAL	N.J.S.	NOT IN SCOPE	REQ.	REFERENCE OR REFER		
/	PER OR OVER	CNTR.	COUNTER	EQ.	EQUAL	HR.	HOUR	NO.	NUMBER	REQ'D	REQUIRED		
±	PLUS OR MINUS	COL.	COLUMN	ETC.	ETCETERA	HT.	HEIGHT	NOM.	NOMINAL	REV.	REVERSE OR REVISION		
+	AND	COMP.	COMPACT	EXT.	EXTERIOR	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	N.T.S.	NOT TO SCALE	RM.	ROOM	V.B.	VAPOR BARRIER
A.B.	ANCHOR BOLT	CONC.	CONCRETE	F.C.	FINISH CEILING	I.B.C.	INTERNATIONAL BUILDING CODE	O.C.	ON CENTER	S.	SOUTH	VEN.	VENER
A.C.	AIR CONDITIONING	CONSTR.	CONSTRUCTION	F.D.	FLOOR DRAIN	I.D.	INSIDE DIAMETER	O.C.	OUTSIDE DIAMETER	SCHED.	SCHEDULE	VERT.	VERTICAL
ACOUS.	ACOUSTICAL	CONT.	CONTINUOUS (CONTINUATION)	F.E.	FIRE EXTINGUISHER	IN.	INCH (INCHES)	O.E.E.S.C.	OREGON ENERGY EFFICIENCY SPECIALTY CODE	SECT.	SECTION	V.F.	VERIFY
ADA	AMERICANS W/ DISABILITIES ACT			F.F.	FINISH FLOOR	INFO.	INFORMATION	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	S.F.	SQUARE FEET OR FOOT	V.J.F.	VERIFY IN FIELD
ADJ.	ADJUSTABLE OR ADJACENT	CONTR.	CONTRACTOR	FIN.	FINISH	INSUL.	INSULATION	OFF.	OFFICE	SIM.	SIMILAR	V.G.	VERTICAL GRAIN
A.F.F.	ABOVE FINISH FLOOR	COORD.	COORDINATE	FLR.	FLOOR			OPNG.	OPENING	SIMP.	SIMPSON	W.	WEST
AGGR.	AGGREGATE	CORR.	CORRIDOR	FLUOR.	FLUORESCENT	INT.	INTERIOR	OPNS.	OPENING	S.M.S.	SHEET METAL SCREWS	W/	WITH
AISC.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	ASGREG.	ASBESTOS	F.O.C.	FACE OF CONCRETE	I.R.C.	INTERNATIONAL RESIDENTIAL CODE	OPP.	OPPOSITE	SPEC.	SPECIFICATION	W/D	WOOD
ALUM.	ALUMINUM	CTR.	CENTER	F.O.F.	FACE OF FINISH			O.R.S.C.	OREGON RESIDENTIAL SPECIALTY CODE	SQ.	SQUARE	W.A.	WATER HEATER
ALT.	ALTERNATE	CNTRSK.	COUNTERSINK	F.O.S.	FACE OF STUD	JAN.	JANITOR	O.S.S.C.	OREGON STRUCTURAL SPECIALTY CODE	ST.	STREET	WRGB	WATER RESISTANT
ANOD.	ANODIZED	C.W.	COLD WATER	FOUND.	FOUNDATION	JST.	JOIST			STD.	STANDARD	GYPSUM WALL BOARD	
APPROX.	APPROXIMATE	C.V.G.	CLEAR VERTICAL GRAIN	F.P.	FIRE PROOF	JT.	JOINT			STL.	STEEL		
ARCH.	ARCHITECT OR ARCHITECTURAL			FR.	FRAME	LAV.	LAVATORY			STOR.	STORAGE	W/O	WITHOUT
AUTO.	AUTOMATIC	DBL.	DOUBLE	F.S.	FLOOR SINK			P.C.P.	PORTLAND CEMENT PLASTER	STRUC.	STRUCTURE OR STRUCTURAL	W.P.	WATER PROOF
AVE.	AVENUE	DEMO.	DEMOLITION (DEMOUSH)	FT.	FOOT OR FEET			P.C.	POWDER COAT	SYM.	SYMBOL	WSC.	WAINSCOT
		DIM.	DIMENSION	F.TG.	FOOTING			P-LAM.	PLYWOOD			WT.	WEIGHT
		DISP.	DISPENSOR	FURR.	FURRING			PNL.	PANEL				
BD.	BOARD	DN.	DOWN			MSNRY.	MASONRY	PR.	PAIR				
BTWN.	BETWEEN	DR.	DOOR			MAX.	MAXIMUM	PRE-CAST.	PRE-CAST				
BLDG.	BUILDING	D.S.	DOWN SPOUT			MECH.	MECHANICAL	PRE-FIN.	PRE-FINISH				
BLK.	BLOCK	DTL.	DETAIL			MEMB.	MEMBRANE	PROP.	PROPERTY				
BLKG.	BLOCKING	DWG.	DRAWING			M.E.P.	MECHANICAL, ELECTRICAL & PLUMBING	PRTN.	PARTITION				
BM.	BEAM					MANUF.	MANUFACTURER	P.T.	PRESSURE TREATED				
BOT.	BOTTOM					MIN.	MINIMUM						
B.O.	BOTTOM OF					MIR.	MIRROR						
						MISC.	MISCELLANEOUS						
C.B.	CATCH BASIN					M.O.							
		(E)	EXISTING			QNTY.	QUANTITY						
		E.	EAST										
		EA.	EACH										

ARCHITECTURAL SYMBOLS

SECTION TAG	DRAWING # DIRECTION VIEWED SHEET #	REVISION TAG
DETAIL TAG	SIM.	WINDOW TAG
ELEVATION TAG	SHEET # DRAWING #	PLUMBING FIXTURE TAG
ROOM TAG	ROOM NAME RM. ##	KEYNOTE TAG
		EQUIPMENT FIXTURE TAG
		WALL TAG
		GRID TAG
		DOOR TAG
		FINISH CEILING TAG ELEVATION ABOVE FINISH FLOOR

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BY:

EXHIBIT
A.10

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

INDEX, PROJECT
INFORMATION,
VICINITY MAP

PROJECT NO: 1723
DRWN BY: JC CHK'D BY:KMD
DATE: 1/19/2018

G0.0

TOPOGRAPHIC SURVEY FOR PETER MEIJER ARCHITECT
LOCATED IN THE SW 1/4 OF SECTION 30 AND THE NW 1/4 OF SECTION 31,
TOWNSHIP 1 NORTH, RANGE 5 EAST W.M.
LOTS 1 AND 2 OF BLOCK 1 AND LOT 2 OF BLOCK 2, RE-PLAT OF PARTS OF
BLOCKS 1 & 2 OF THOR'S HEIGHTS ADDITION,
MULTNOMAH COUNTY, OREGON.
TAX LOTS 1500 & 1600, 1N-5E-30CC

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO PROVIDE TOPOGRAPHIC DETAIL FOR TAX LOTS 1500 & 1600 OF MULTNOMAH COUNTY ASSESSORS MAP 1N-5E-30CC. FIELD WORK WAS COMPLETED MARCH 18, 2017. PLEASE SEE THE ASSOCIATED PROPERTY BOUNDARY SURVEY FOR COMPLETE PROPERTY BOUNDARY INFORMATION.

HORIZONTAL DATUM:

N.A.D.83 (2011) (EPOCH 2010.00) OREGON STATE PLANE NORTH ZONE, GRID BEARINGS.

VERTICAL DATUM:

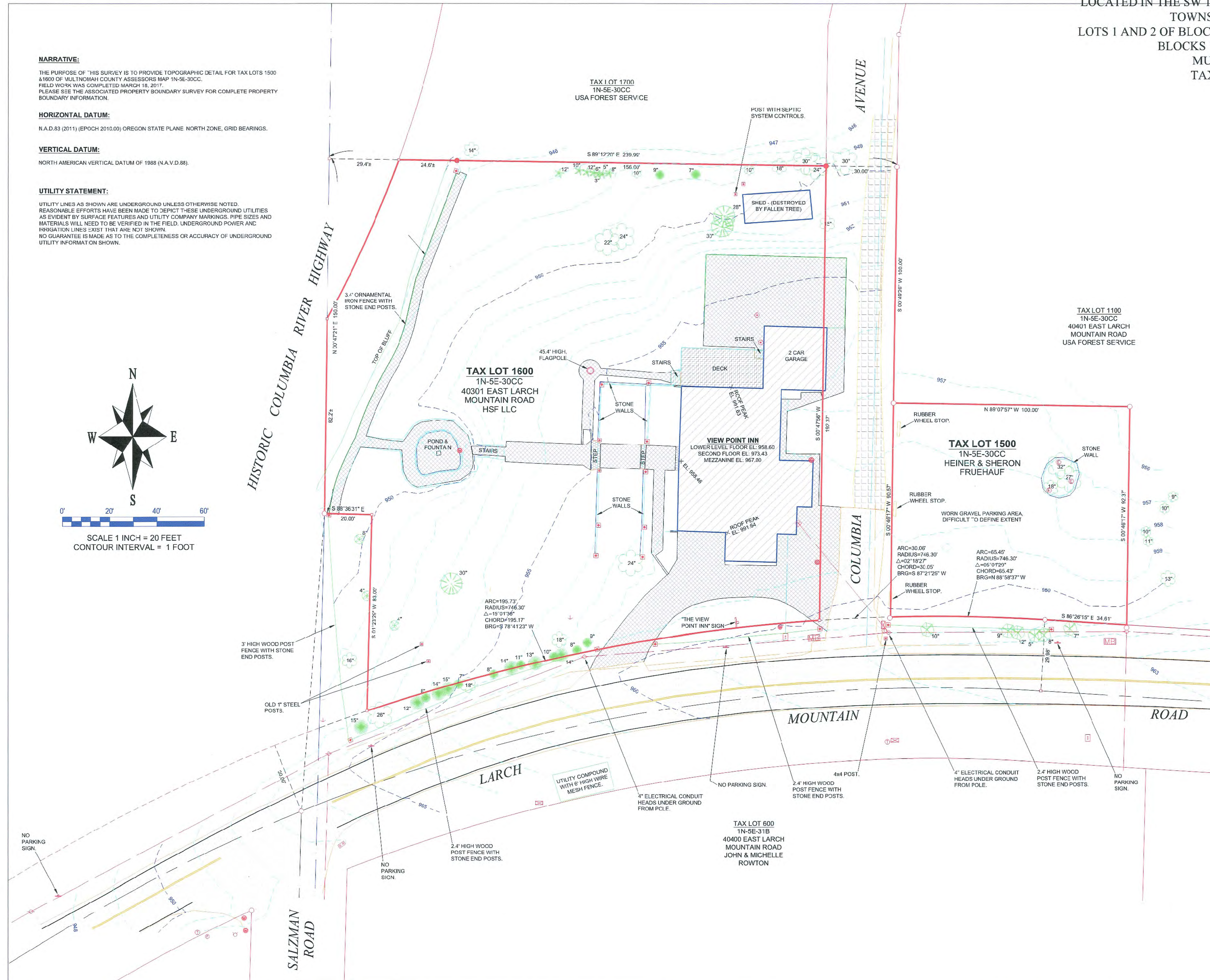
NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88).

UTILITY STATEMENT:

UTILITY LINES AS SHOWN ARE UNDERGROUND UNLESS OTHERWISE NOTED. REASONABLE EFFORTS HAVE BEEN MADE TO DEPICT THESE UNDERGROUND UTILITIES AS EVIDENT BY SURFACE FEATURES AND UTILITY COMPANY MARKINGS. PIPE SIZES AND MATERIALS WILL NEED TO BE VERIFIED IN THE FIELD. UNDERGROUND POWER AND RIRIGATION LINES EXIST THAT ARE NOT SHOWN. NO GUARANTEE IS MADE AS TO THE COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITY INFORMATION SHOWN.



SCALE 1 INCH = 20 FEET
CONTOUR INTERVAL = 1 FOOT



SYMBOL LEGEND:

	SURVEY CONTROL POINT
	FOUND MONUMENT OF RECORD (SEE BOUNDARY SURVEY)
	NEW MONUMENT SET (SEE BOUNDARY SURVEY)
	UTILITY POLE
	CLEANOUT
	ELECTRICAL METER
	ELECTRICAL OUTLET
	HYDRANT
	SIGN
	WATER METER
	WATER VALVE
	GAS VALVE
	STEEL WIRE ANCHOR
	STORM CATCH BASIN
	FIBER
	UTILITY VAULT
	TELEPHONE PEDESTAL
	MAIL BOX
	FLOOR DRAIN
	FLAGPOLE
	POST
	FENCE
	OVERHEAD POWER
	UNDERGROUND WATER
	UNDERGROUND COMMUNICATIONS
	TREE OF UNKNOWN SPECIES WITH TRUNK DIAMETER
	FIR TREE WITH TRUNK DIAMETER
	PINE TREE WITH TRUNK DIAMETER
	FRUIT TREE WITH TRUNK DIAMETER
	CEDAR TREE WITH TRUNK DIAMETER
	HOLLY TREE WITH TRUNK DIAMETER
	GRAVEL
	BUILDING
	PAVEMENT
	CONCRETE
	WOOD DECKING
	STONE WALKWAY OR RETAINING WALL

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 15, 2002
BRADLEY J. CROSS
60051

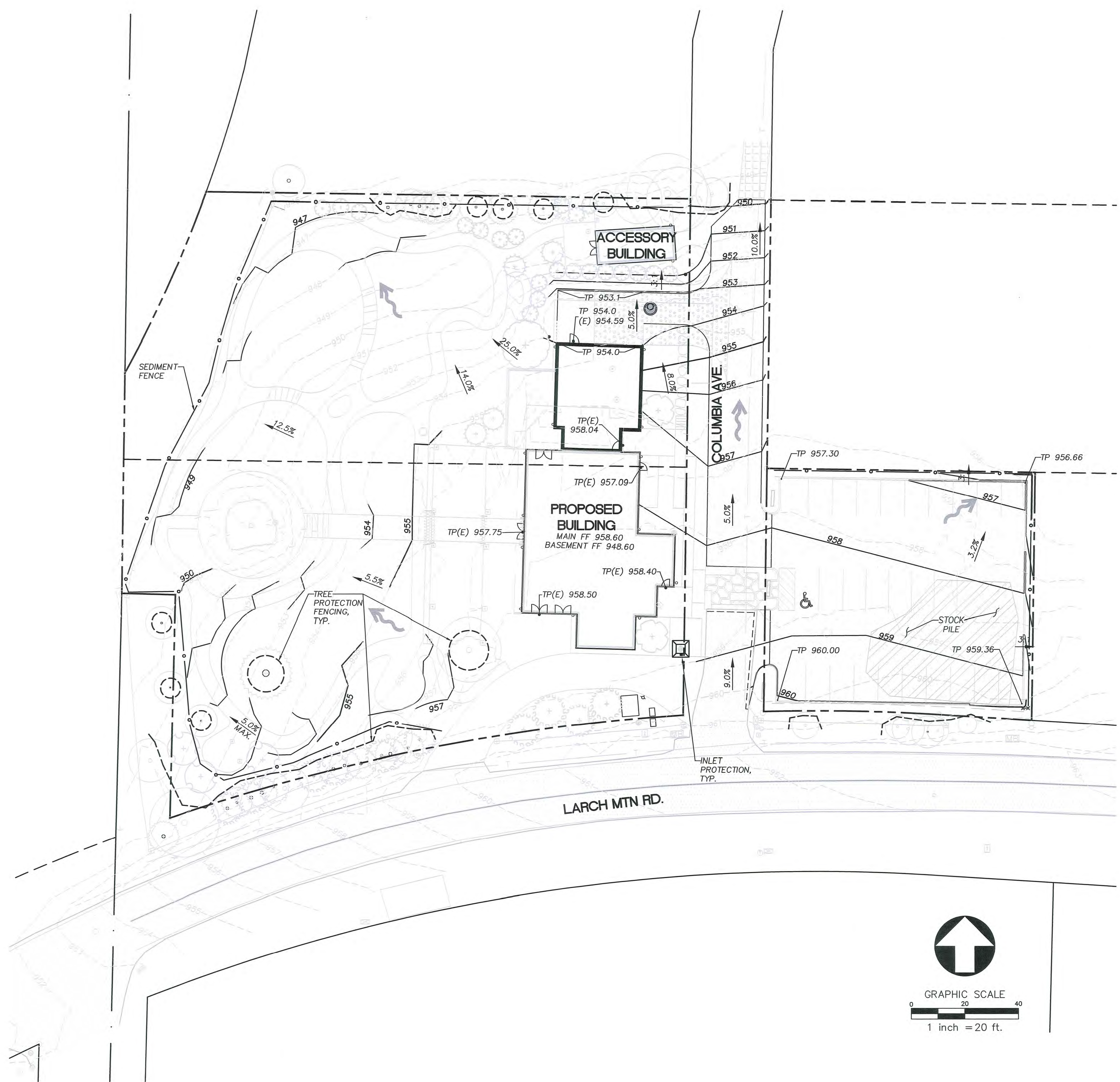
RENEWALS: 12/31/2017

PROJECT NUMBER: 2017002
DATE OF DRAWING: MARCH 17, 2017

**COLUMBIA RIVER
SURVEYING
& MAPPING**

1767 12th St. #191
HOOD RIVER, OREGON, 97031
PHONE: 541-386-9002
EMAIL: INFO@COLUMBIASURVEYING.COM





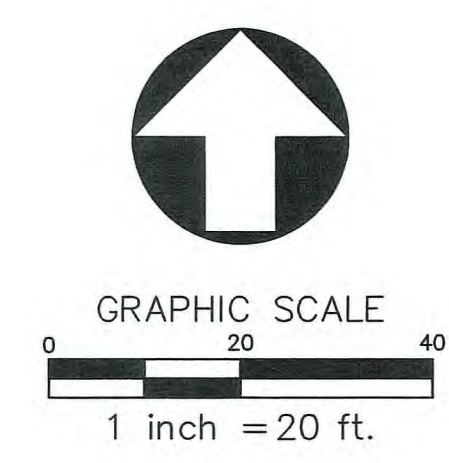
- GRADING NOTES**
- REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND PROTECTION.
 - MAJORITY OF CUT WITHIN PROPOSED BUILDING FOOTPRINT IN ORDER TO CREATE FULL BASEMENT. MAJORITY OF FILL IS PARKING AND DRIVE GRAVEL SURFACING.
 - EARTHWORK (EXISTING GRADE TO FINISHED GRADE)
480 CY FILL
1093 CY CUT
613 CY NET FILL

GRADING LEGEND

	STOCKPILE AREA WITH PLASTIC SHEETING	4 C3.0
	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	3 C3.0
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
FG XX.XX	FINISHED GRADE	
EG XX.XX	EXISTING GRADE	
	ADA ACCESS SEE ENLARGED PLANS	
	SLOPE ARROW	
	GRADE BREAK	
	EXISTING CONTOUR	1 C3.0
	PROPOSED CONTOUR	2 C3.0
	SEDIMENT FENCE	
	DRAINAGE FLOW DIRECTION	
	FILTER FABRIC INLET PROTECTION	
	BIO BAG PROTECTION	5 C3.0
	TREE PROTECTION FENCING	

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		SETBACK LINE
		BLDG OVERHANG
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB, WHEEL STOPS
		STORM PIPE
		CATCH BASIN
		DRYWELL
		FLOW LINE
		SANITARY LINE
		SANITARY CLEANOUT
		SANITARY DRAIN FIELD
		WATER LINE
		WATER METER VAULT
		WATER VALVE
		CONCRETE
		A.C. PAVEMENT
		GRAVEL
		STONE WALKWAY
		STONE WALL
		FENCE
		TREE
		MAIL BOX
		GRAVEL BUILDING
		PAVEMENT
		CONCRETE
		WOOD DECKING
		STONE WALL



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EMERICK ARCHITECTS
321 SOUTHWEST FOURTH AVE SUITE 200 PORTLAND OR 97204
P. 503.235.9400 W. EMERICK-ARCHITECTS.COM

H Humber Design Group, Inc.
Portland, OR • 503.946.6690 • hdgpx.com

REV. #: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

GRADING AND EROSION CONTROL PLAN

PROJECT NO:	1723
DRWN BY:	JMF
CHK'D BY:	MSW
DATE:	01.19.18

C1.0

REV. #:	DATE:	DESCRIPTION:

HSF, LLC
**VIEW POINT INN &
WELLNESS CENTER**
40301 E Larch Mountain Rd.,
Corbett, OR 97019

UTILITY PLAN

PROJECT NO: 1723
DRWN BY: JMF CHK'D BY: MSW
DATE: 01.19.18

C2.0

UTILITY NOTES

- ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY CORBETT WATER DISTRICT AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CORBETT WATER DISTRICT MANAGER, JEFF BUSTO (503)695-2284.
- CONTRACTOR SHALL LOCATE EXISTING SEPTIC FACILITIES PRIOR TO CONSTRUCTION TO VERIFY LOCATION.
- INSTALL FOUNDATION DRAIN AROUND PERIMETER OF ALL STRUCTURES.
- CAP AND ABANDON EXISTING WATER SERVICE AT MAIN.

UTILITY LEGEND

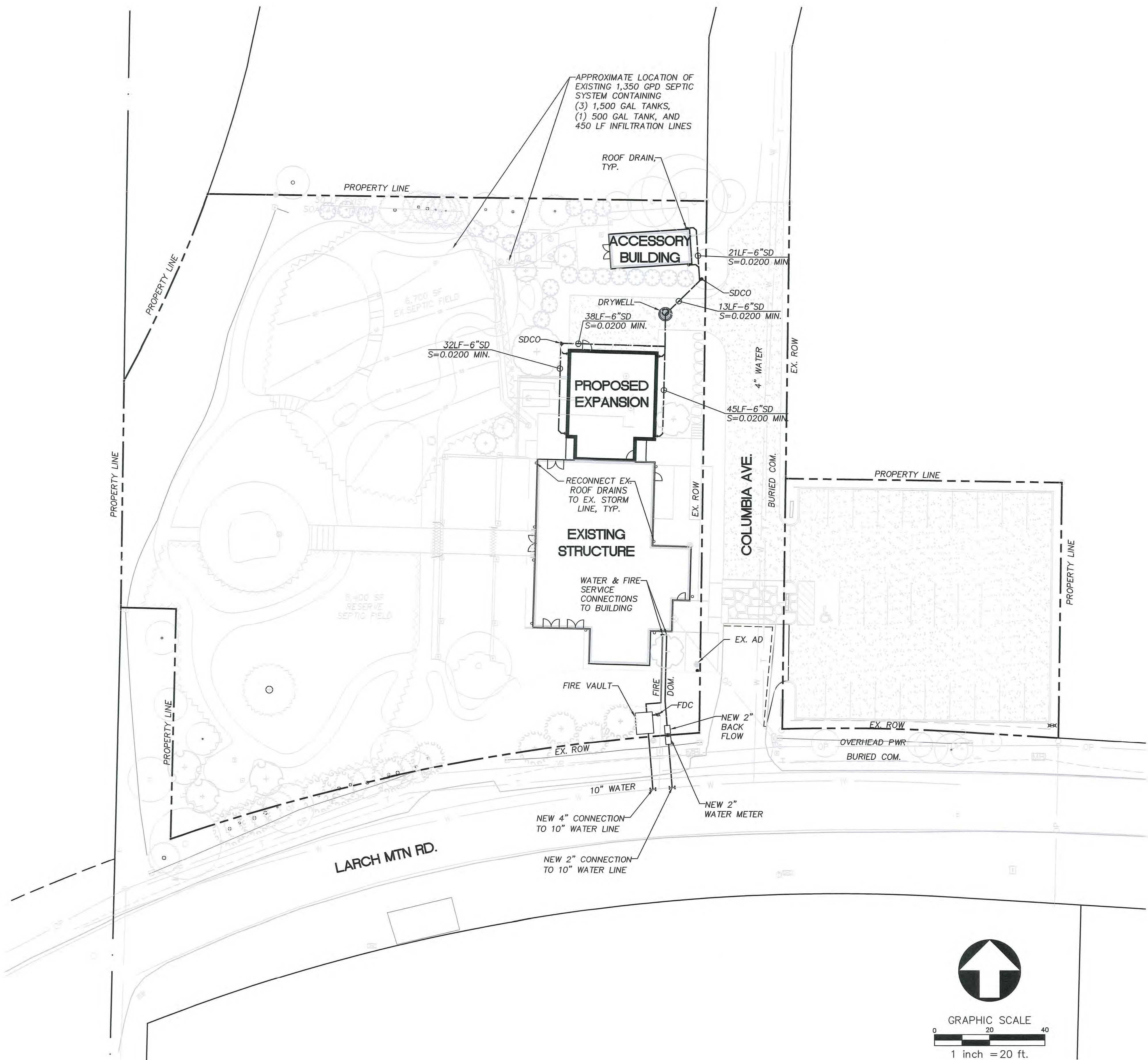
- AREA DRAIN, CATCH BASIN, OVERFLOW DRAIN
- CLEANOUT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- WATER VAULT
- DRYWELL

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	SETBACK LINE
---	---	BLDG OVERHANG
---	---	SAWCUT LINE
---	---	EDGE OF PAVEMENT
---	---	CURB, WHEEL STOPS
---	---	STORM PIPE
---	---	CATCH BASIN
---	---	DRYWELL
---	---	FLOW LINE
---	---	SANITARY LINE
---	---	SANITARY CLEANOUT
---	---	SANITARY DRAIN FIELD
---	---	WATER LINE
---	---	WATER METER VAULT
---	---	WATER VALVE
---	---	CONCRETE
---	---	A.C. PAVEMENT
---	---	GRAVEL
---	---	STONE WALKWAY
---	---	STONE WALL
---	---	FENCE
---	---	TREE
---	---	MAIL BOX
---	---	GRAVEL
---	---	BUILDING
---	---	PAVEMENT
---	---	CONCRETE
---	---	WOOD DECKING
---	---	STONE WALL



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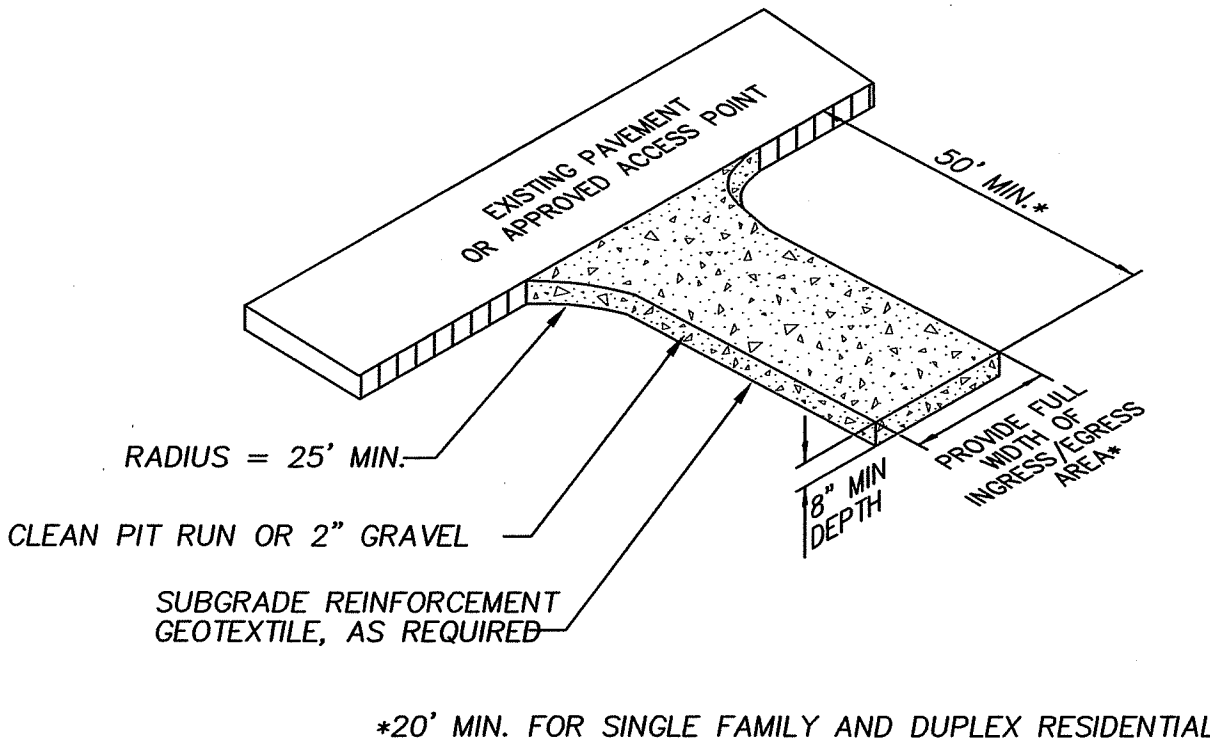


EROSION CONTROL NOTES

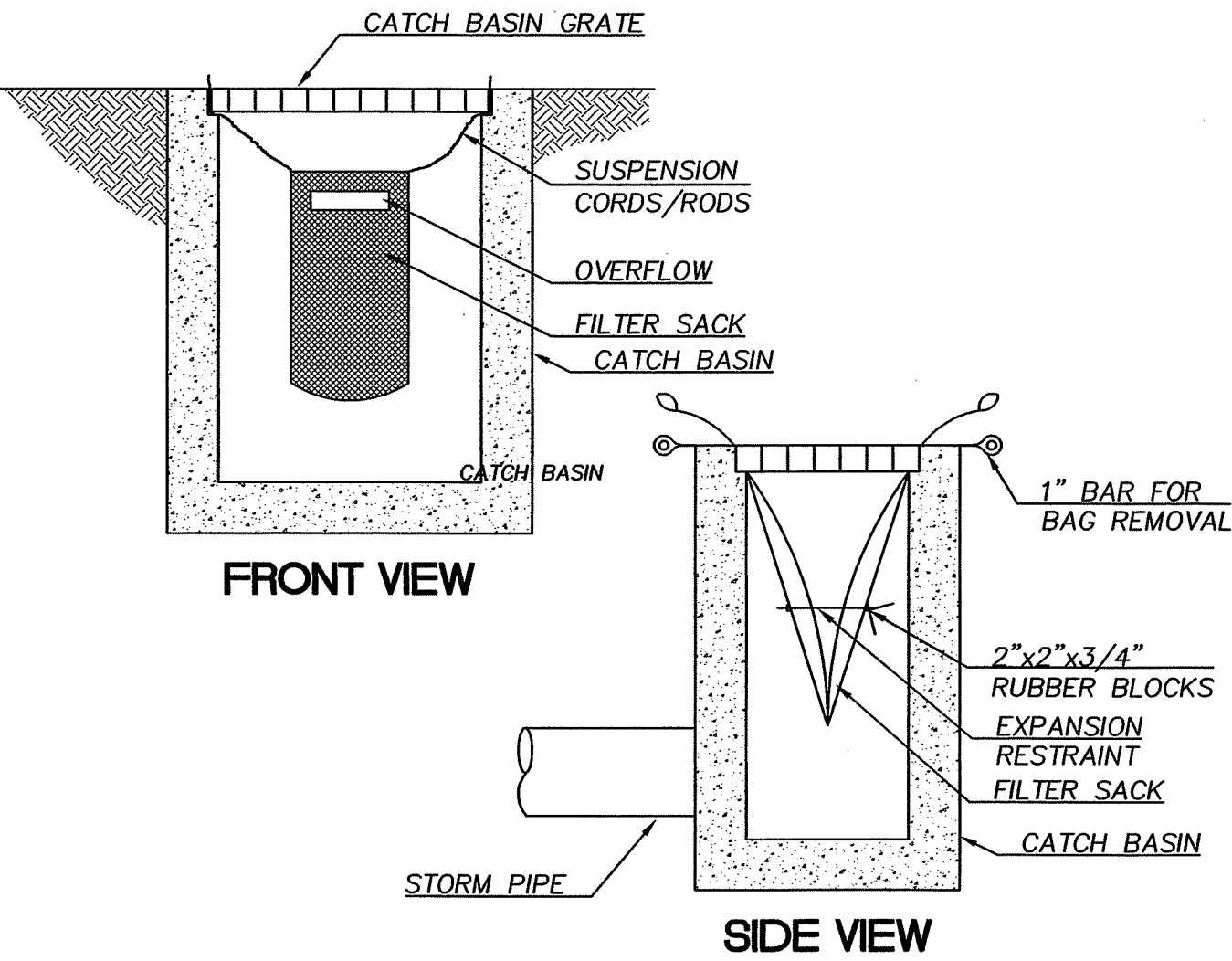
1. APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
2. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
3. THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
4. THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
5. THE ESPCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
8. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
9. ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
11. IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
12. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
13. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
14. CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
15. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND 2008 EROSION AND SEDIMENT CONTROL MANUAL.
16. SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
17. SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
18. WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
19. IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
20. STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
21. SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
22. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

SEDIMENT FENCE NOTES

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
3. A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
4. STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POST. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACED A MAXIMUM OF 6 FEET APART.
5. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
6. SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.
7. AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED.

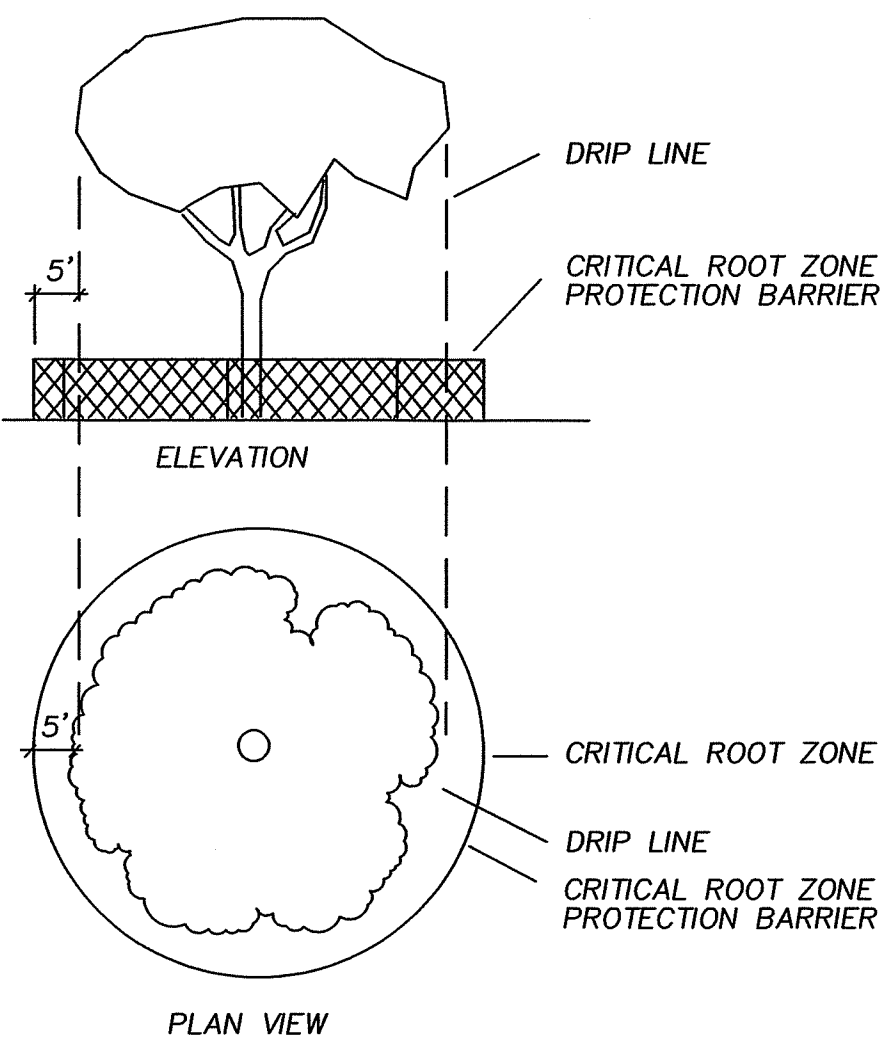


3 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE NTS



NOTE:
1. REPLACE BIOFILTER BAGS WITH INSERT SACKS AFTER THE FIRST LIFT OF PAVING.

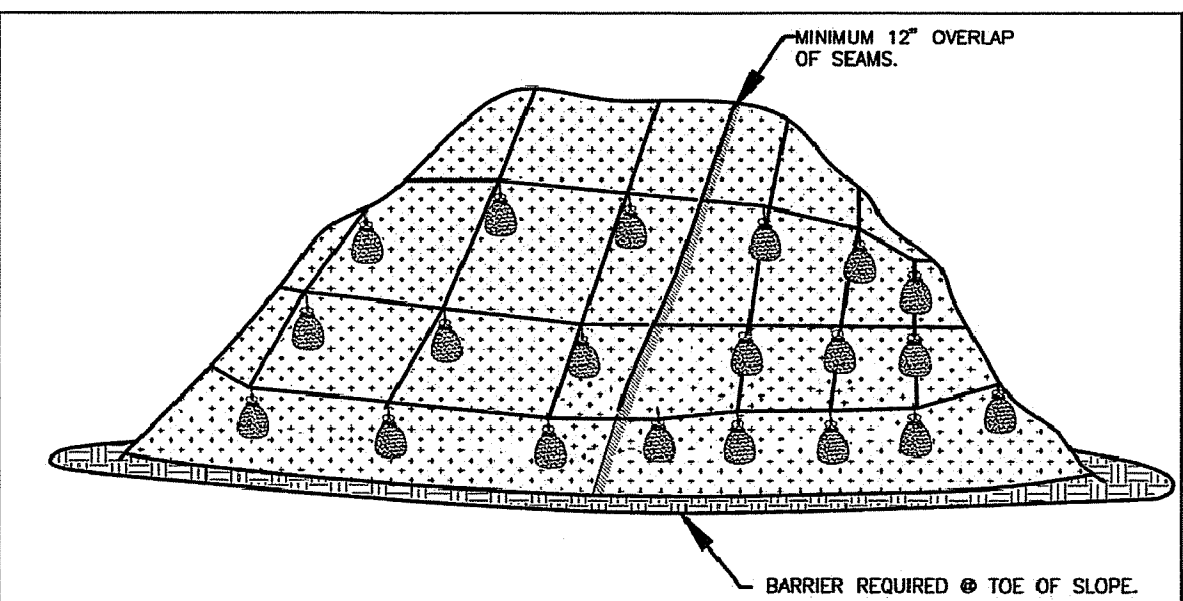
2 FILTER FABRIC INLET PROTECTION NTS



NOTES:

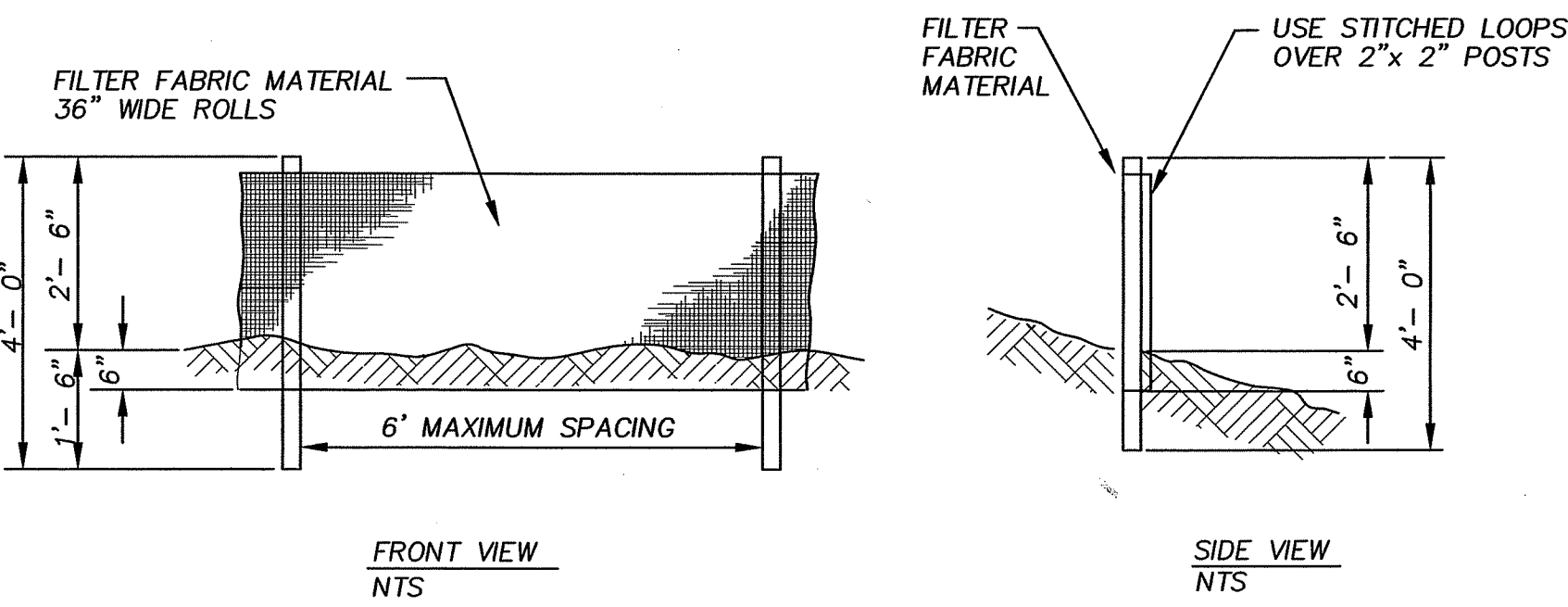
1. THE ROOT PROTECTION ZONE IS A MINIMUM OF 1 FOOT FOR EVERY 1 INCH OF TREE DIAMETER.
2. AT THE PERIMETER OF THE ROOT PROTECTION ZONE THERE MUST BE A 6' TALL CHAINLINK FENCE HAVING 8' POSTS.

5 TREE PROTECTION DETAIL NTS



- NOTES:
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
 2. BARRIER REQUIRED @ TOE OF STOCK PILE.
 3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.

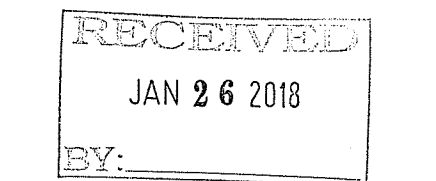
4 PLASTIC SHEETING NTS



NOTES:

1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. 2"x 2" FIR, PINE OR STEEL FENCE POSTS.
3. STITCHED LOOPS TO BE INSTALLED DOWNHILL SIDE OF SLOPE.
4. COMPACT ALL AREAS OF FILTER FABRIC TRENCH.

1 SEDIMENT FENCE NTS



NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

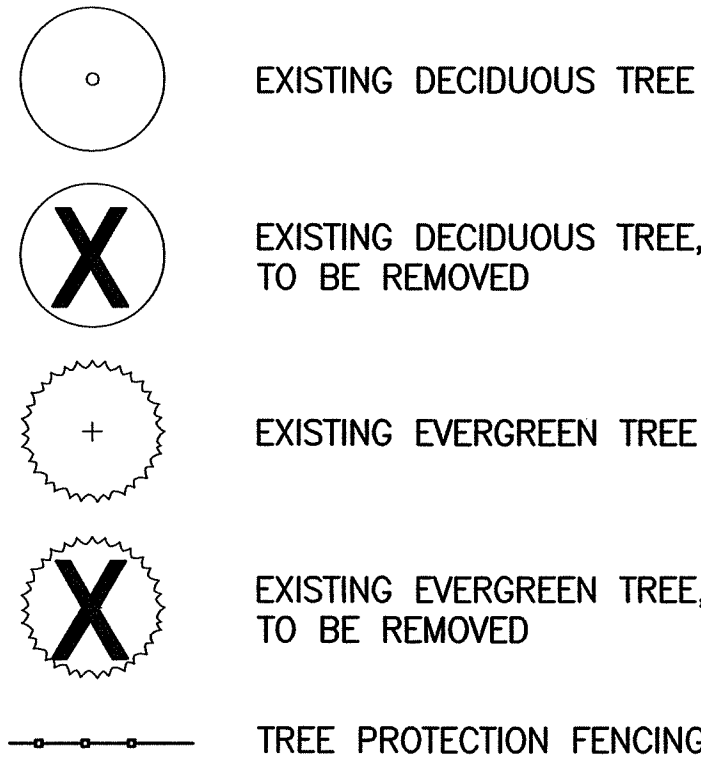
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TREE INVENTORY TABLE

#	TREE SPECIES (Botanical Name – Common Name)	SIZE	STATUS
1	Ilex aquifolium – English Holly	12" DIAMETER	TO REMAIN
2	Ilex aquifolium – English Holly	10" DIAMETER	TO REMAIN
3	Ilex aquifolium – English Holly	12" DIAMETER	TO REMAIN
4	Ilex aquifolium – English Holly	6" DIAMETER	TO REMAIN
5	Ilex aquifolium – English Holly	3" DIAMETER	TO REMAIN
6	Ilex aquifolium – English Holly	5" DIAMETER	TO REMAIN
7	Ilex aquifolium – English Holly	8" DIAMETER	TO REMAIN
8	Alnus rubra – Red Alder	10" DIAMETER	TO REMAIN
9	Pinus nigra – Black Pine	9" DIAMETER	TO REMAIN
10	Pinus nigra – Black Pine	7" DIAMETER	TO REMAIN
11	Acer platanoides – Norway Maple	10" DIAMETER	TO REMAIN
12	Acer platanoides – Norway Maple	18" DIAMETER	TO REMAIN
13	Acer platanoides – Norway Maple	24" DIAMETER	TO REMAIN
14	Pseudotsuga menziesii – Douglas Fir	28" DIAMETER	TO BE REMOVED
15	Pseudotsuga menziesii – Douglas Fir	30" DIAMETER	TO BE REMOVED

#	TREE SPECIES (Botanical Name – Common Name)	SIZE	STATUS
16	Alnus rubra – Red Alder	24" DIAMETER	TO BE REMOVED
17	Alnus rubra – Red Alder	22" DIAMETER	TO BE REMOVED
18	Pseudotsuga menziesii – Douglas Fir	30" DIAMETER	TO REMAIN
19	Prunus sargentii – Sargent Cherry	4" DIAMETER	TO REMAIN
20	Pinus nigra – Black Pine	8" DIAMETER	TO REMAIN
21	Pinus nigra – Black Pine	14" DIAMETER	TO REMAIN
22	Pinus nigra – Black Pine	10" DIAMETER	TO REMAIN
23	Pinus nigra – Black Pine	14" DIAMETER	TO REMAIN
24	Crataegus laevigata – English Hawthorne	18" DIAMETER	TO REMAIN
25	Pinus nigra – Black Pine	8" DIAMETER	TO REMAIN
26	Pinus nigra – Black Pine	9" DIAMETER	TO REMAIN
27	Prunus sargentii – Sargent Cherry	24" DIAMETER	TO REMAIN
28	Acer platanoides – Norway Maple	18" DIAMETER	TO BE REMOVED
29	Acer platanoides – Norway Maple	32" DIAMETER	TO BE REMOVED
30	Acer platanoides – Norway Maple	27" DIAMETER	TO BE REMOVED
31	Acer platanoides – Norway Maple	15" DIAMETER	TO BE REMOVED

TREE REMOVAL LEGEND



TREE REMOVAL NOTES

- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
- TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
- EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
- TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
- APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
- NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
- THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
- NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
- NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.

EMERICK ARCHITECTS

lango.hansen

LANDSCAPE ARCHITECTS

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portland or 97209

REVIEW SET

NOT FOR
CONSTRUCTION

REV.#: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

TREE REMOVAL AND
PROTECTION PLAN

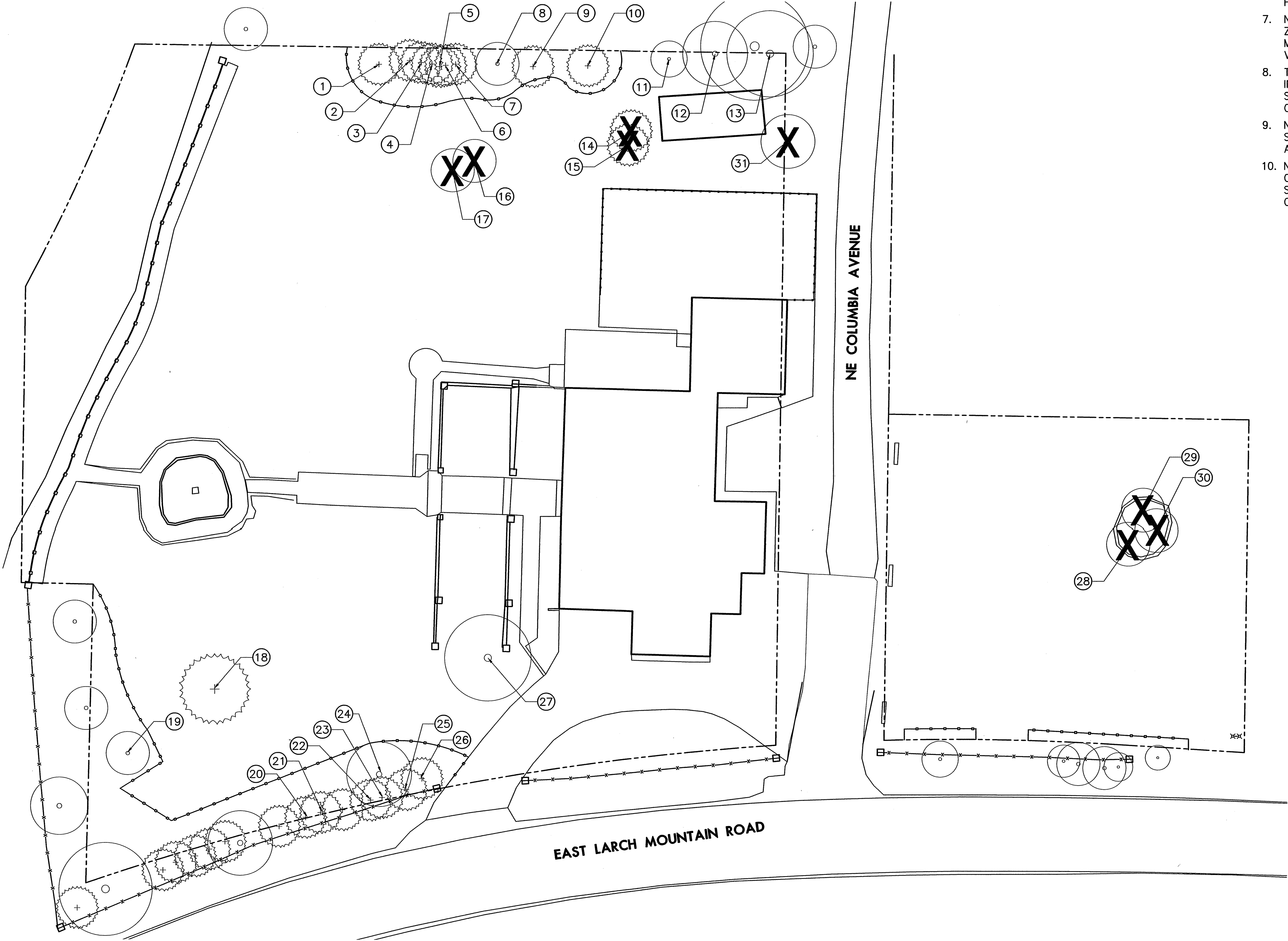
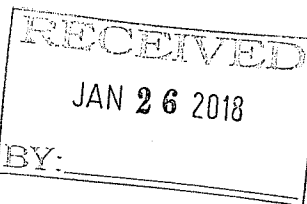
PROJECT NO: 1723
DRWN BY: BEO CHK'D BY: KL
DATE: 01.19.18

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LAND USE SUBMITTAL

1 TREE REMOVAL AND PROTECTION PLAN

Plan
1"=16'-0"



ABBREVIATIONS

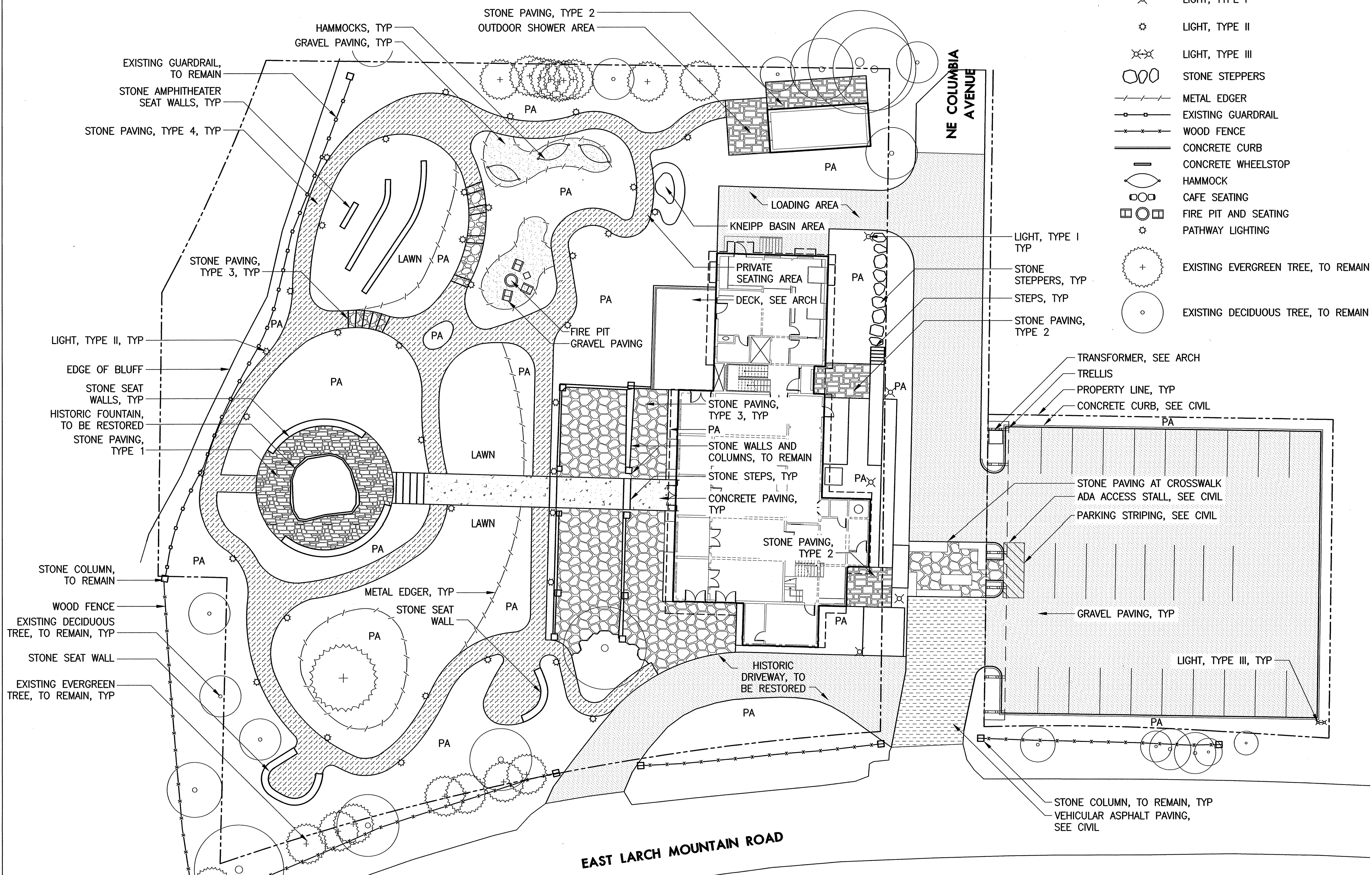
ARCH	ARCHITECTURAL
CONC	CONCRETE
DWG	DRAWINGS
ELEC	ELECTRICAL
MECH	MECHANICAL
NIC	NOT IN CONTRACT
PA	PLANTING AREA
SIM	SIMILAR
SPECS	SPECIFICATIONS
STRUC	STRUCTURAL
TYP	TYPICAL
W/	WITH

MATERIALS NOTES

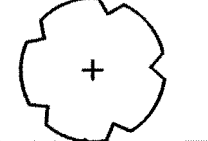
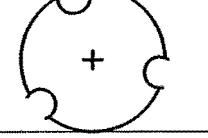
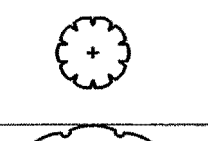

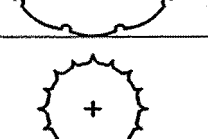
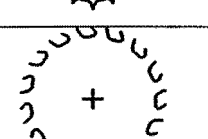
1. THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION FOR FENCING AND OTHER REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.
4. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.


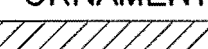
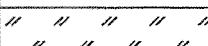
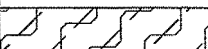

LEGEND

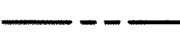

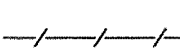
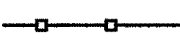
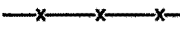



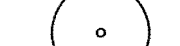
- PROPERTY LINE/RIGHT-OF-WAY
- PEDESTRIAN CONCRETE PAVING
- VEHICULAR ASPHALT PAVING, SEE CIVIL
- STONE PAVING - TYPE 1
- STONE PAVING - TYPE 2
- STONE PAVING - TYPE 3
- STONE PAVING - TYPE 4
- GRAVEL PAVING
- VEHICULAR GRAVEL PAVING
- LIGHT, TYPE I
- LIGHT, TYPE II
- LIGHT, TYPE III
- STONE STEPPERS
- METAL EDGER
- EXISTING GUARDRAIL
- WOOD FENCE
- CONCRETE CURB
- CONCRETE WHEELSTOP
- HAMMOCK
- CAFE SEATING
- FIRE PIT AND SEATING
- PATHWAY LIGHTING
- EXISTING EVERGREEN TREE, TO REMAIN
- EXISTING DECIDUOUS TREE, TO REMAIN



PLANT SCHEDULE

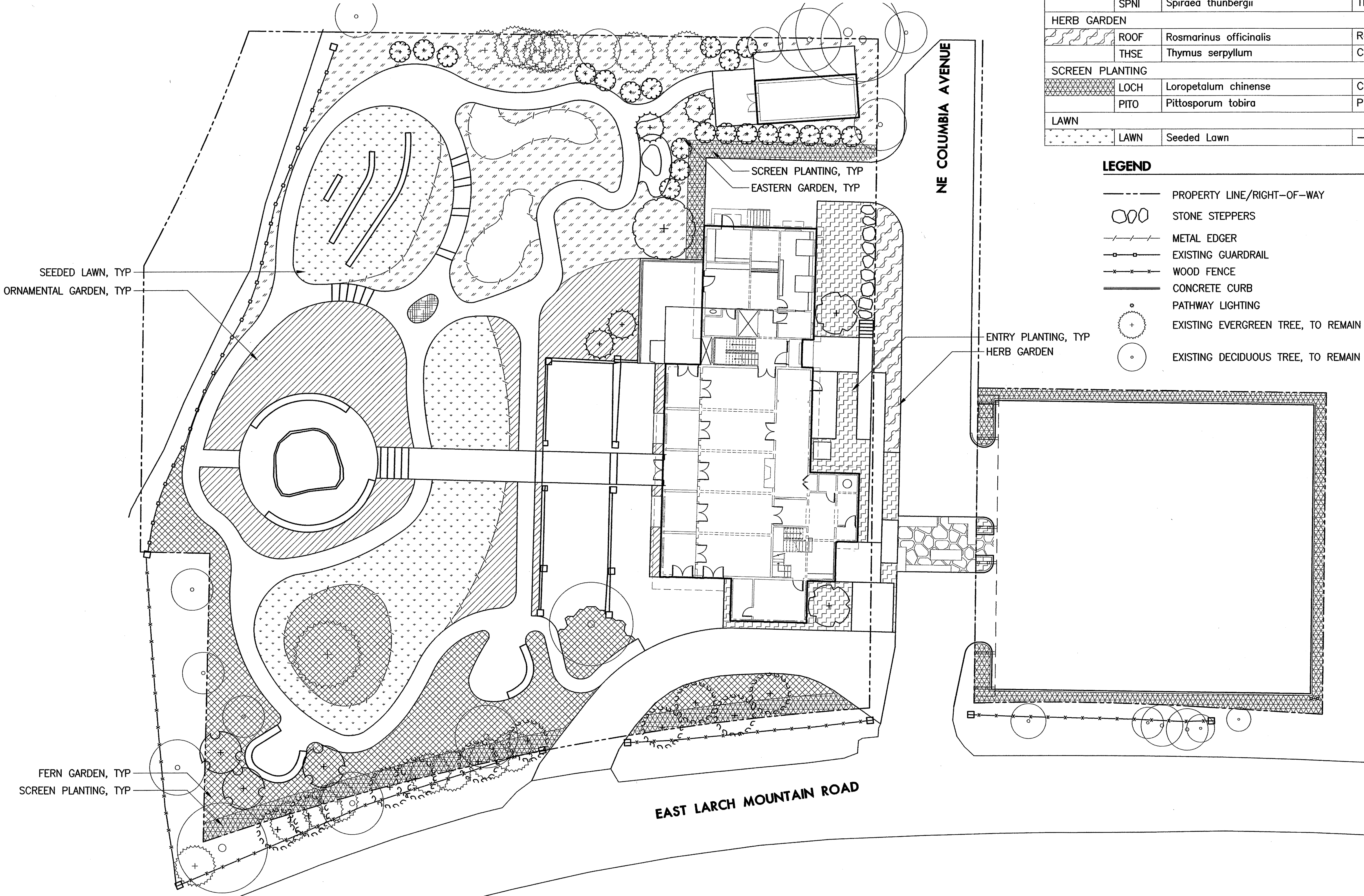
SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AP	Acer palmatum	Japanese Maple	3" CAL., B&B	as shown
	CK	Cornus kousa	Kousa Dogwood	3" CAL., B&B	as shown
	FR	Fargesia rufa 'Green Panda'	Fargesia	#10/CONT	as shown
	MR	Morus rubra	Mulberry Tree	3" CAL., B&B	as shown
	PM	Pinus mugo	Mugo Pine	4' HT., B&B	as shown
	PS	Pinus sylvestris	Scots Pine	7' HT., B&B	as shown

FERN GARDEN					
	AFTI	Athyrium filix-femina	Lady Fern	#5/CONT	3' O.C.
	MARE	Mahonia repens	Creeping Mahonia	#1/CONT	18" O.C.
	OSCI	Osmundastrum cinnamomeum	Cinnamon Fern	#5/CONT	2' O.C.
	PATE	Pachysandra terminalis	Japanese Spurge	SP#4	12" O.C.
	POMU	Polystichum munitum	Sword Fern	#5/CONT	3' O.C.
ORNAMENTAL GARDEN					
	BUMI	Buxus microphylla var. japonica	Japanese Boxwood	#3/CONT	2' O.C.
	CASA	Camellia sasanqua 'Marge Miller'	Camellia	#1/CONT	18" O.C.
	LIMU	Liriope muscari	Lilyturf	#1/CONT	18" O.C.
	HAMA	Hakonechloa macro 'Aureola'	Japanese Forest Grass	#3/CONT	18" O.C.
EASTERN GARDEN					
	DAOD	Daphne odora	Daphne	#1/CONT	3' O.C.
	NADO	Nandina domestica 'Compacta'	Heavenly Bamboo	#5/CONT	3' O.C.
	OPJA	Ophiopogon japonicus	Mondo Grass	#1/CONT	12" O.C.
	PIJA	Pieris japonica	Pieris	#5/CONT	5' O.C.
	TRJA	Trachelospermum jasminoides	Star Jasmine	#1/CONT	12" O.C.
ENTRY PLANTING					
	EDCH	Edgeworthia chrysantha	Edgeworthia	#5/CONT	3' O.C.
	FOIN	Forsythia x intermedia	Forsythia	#5/CONT	5' O.C.
	SPNI	Spiraea thunbergii	Thunberg Spirea	#5/CONT	4' O.C.
HERB GARDEN					
	ROOF	Rosmarinus officinalis	Rosemary	#5/CONT	30" O.C.
	THSE	Thymus serpyllum	Creeping Thyme	SP#4	12" O.C.
SCREEN PLANTING					
	LOCH	Loropetalum chinense	Chinese Fringe Flower	#5/CONT	4' O.C.
	PITO	Pittosporum tobira	Pittosporum	#5/CONT	5' O.C.
LAWN					
	LAWN	Seeded Lawn	-	-	-

LEGEND	
	PROPERTY LINE/RIGHT-OF-WAY
	STONE STEPPERS
	METAL EDGER
	EXISTING GUARDRAIL
	WOOD FENCE
	CONCRETE CURB
	PATHWAY LIGHTING
	EXISTING EVERGREEN TREE, TO REMAIN
	EXISTING DECIDUOUS TREE, TO REMAIN

ABBREVIATIONS	
B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
HT	HEIGHT
O.C.	ON CENTER
SPECS	SPECIFICATIONS
TYP	TYPICAL
#	CONTAINER SIZE

- PLANTING NOTES**
- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
 - PROTECT EXISTING VEGETATION TO REMAIN.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
 - CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
 - TREES TO BE RETAINED AND/OR PLANTED SHALL BE WATERED AS NECESSARY TO MINIMIZE STRESS TO THE TREE, PROMOTE ROOT GROWTH, AND ENSURE SURVIVAL, THROUGHOUT THE CONSTRUCTION PERIOD AND THE FIRST THREE GROWING SEASONS AFTER PLANTING. TREES SHALL BE MULCHED WITH COMPOST MULCH, SEE SPECIFICATIONS. PROTECTIVE BARRIERS SHALL STAY IN PLACE UNTIL PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST. STAKING & FERTILIZING SHALL BE REQUIRED WHERE DEEMED NECESSARY BY PLANNING OFFICIAL.
 - ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM EXCEPT RESEEDED DISTURBED AREAS, THOSE ARE ARE TO BE NON-IRRIGATED.



1 PLANTING PLAN

Plan
1"=16'-0"

N

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JAN 26 2018
BY: _____

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lango.hansen

LANDSCAPE ARCHITECTS

1100 NW GLISAN, #3b
PORTLAND OR 97209

REVIEW SET

NOT FOR CONSTRUCTION

REV. #: DATE: DESCRIPTION

HSF, LLC

VIEW POINT INN & WELLNESS CENTER

40301 E Larch Mountain Rd,
Corbett, OR 97019

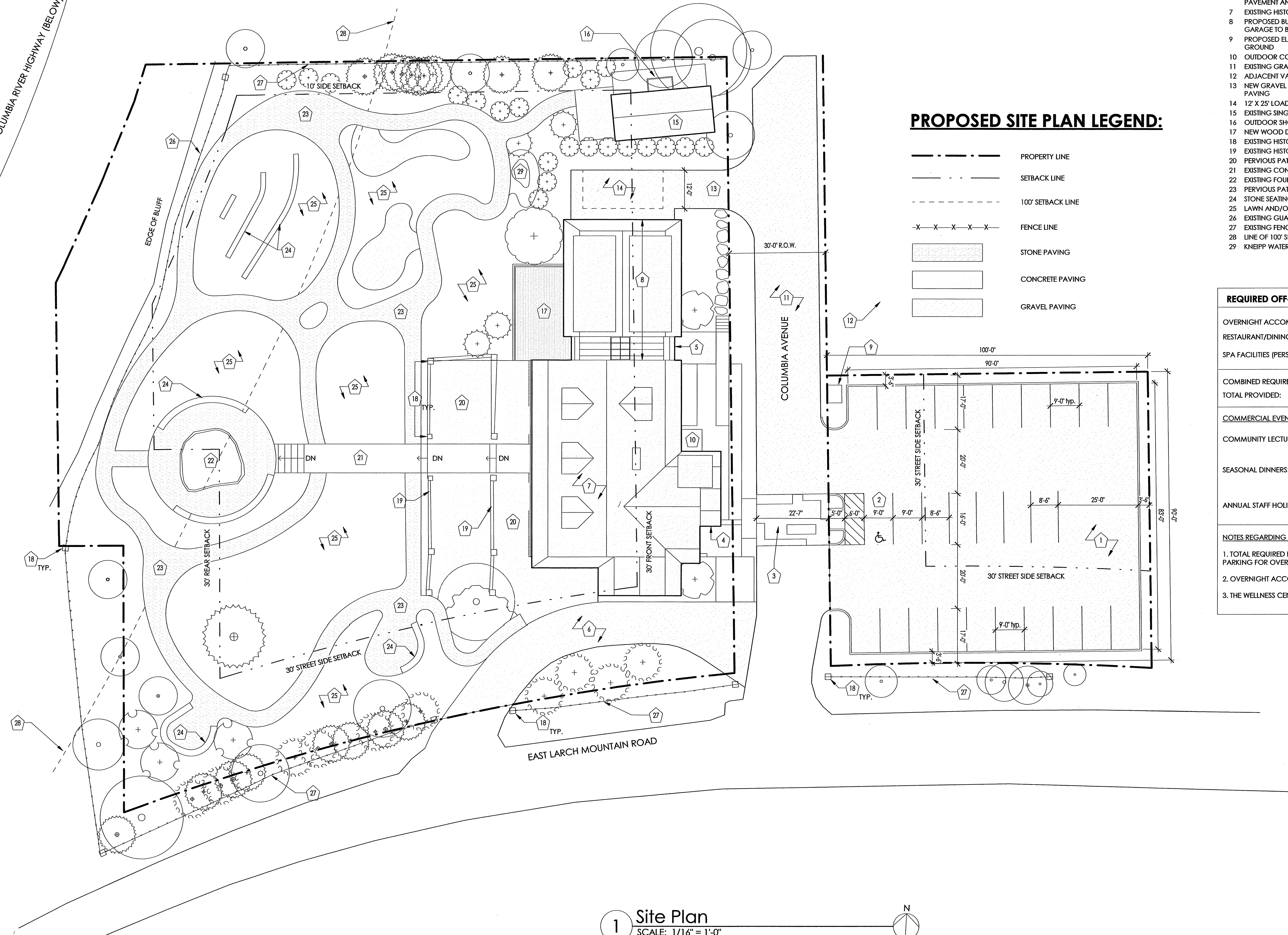
PLANTING PLAN

PROJECT NO: 1723
DRWN BY: BEO/CHK'D BY: KL
DATE: 01.19.18

LAND USE SUBMITTAL

L2.01

COLUMBIA RIVER HIGHWAY (BELOW)



GENERAL SITE PLAN NOTES

1. COORDINATE ALL SITE WORK WITH CIVIL & LANDSCAPE DRAWINGS
2. ALL PARKING LOT MARKINGS TO BE MAINTAINED PER MULTOMAH COUNTY CODE STANDARDS
3. REFER TO EXISTING SITE SURVEY FOR ADDITIONAL PROPERTY INFORMATION

PROPOSED SITE PLAN LEGEND:

- PROPERTY LINE
- SETBACK LINE
- 100' SETBACK LINE
- FENCE LINE
- STONE PAVING
- CONCRETE PAVING
- GRAVEL PAVING

PROPOSED SITE PLAN KEYNOTES:

1. EXISTING GRAVEL PARKING AREA TO BE REFURBISHED. PROVIDE NEW GRAVEL & LAYOUT ACCORDING TO PLANS. PROVIDE 4" THICK CURB AROUND PERIMETER. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFO
2. ACCESSIBLE STALL & AISLE TO BE PROVIDED
3. NEW PEDESTRIAN CROSSWALK. SEE LANDSCAPE FOR DESIGN
4. MAIN ENTRANCE FOR OVERNIGHT ACCOMMODATIONS
5. ENTRANCE FOR WELLNESS CENTER ACTIVITIES
6. EXISTING HISTORIC DRIVE & AISLE ACCESS TO BE RESURFACED. REMOVE EXISTING PAVEMENT AND PROVIDE NEW GRAVEL SURFACE
7. EXISTING HISTORIC BUILDING TO BE REHABILITATED
8. PROPOSED BUILDING ADDITION @ APPROXIMATE LOCATION OF EXISTING, NON-HISTORIC GARAGE TO BE REMOVED
9. PROPOSED ELECTRICAL TRANSFORMER LOCATION. TO BE SCREENED OR LOCATED BELOW GROUND
10. OUTDOOR COOLER FOR KITCHEN. SEE LANDSCAPE PLANS FOR SCREENING
11. EXISTING GRAVEL SURFACE @ COLUMBIA AVENUE TO REMAIN
12. ADJACENT VACANT LOT-NOT IN CONTRACT
13. NEW GRAVEL DRIVEWAY & LOADING AREA TO REPLACE EXISTING CONCRETE DRIVEWAY PAVING
14. 12' X 25' LOADING SPACE
15. EXISTING SINGLE STORY ACCESSORY BUILDING TO BE RE-CONSTRUCTED
16. OUTDOOR SHOWER AREA TO BE PROVIDED AT NORTH SIDE OF ACCESSORY BUILDING
17. NEW WOOD DECK W/ METAL HANDRAILS TO REPLACE EXISTING DECK
18. EXISTING HISTORIC STONE PILLARS TO REMAIN. REFURBISH EACH AS REQ'D
19. EXISTING HISTORIC LOW STONE WALLS TO REMAIN. REFURBISH AS REQ'D
20. PERVIOUS PATIO PAVING AREA. SEE LANDSCAPE DRAWINGS
21. EXISTING CONCRETE WALKWAY TO BE REFURBISHED
22. EXISTING FOUNTAIN TO BE RESTORED
23. PERVIOUS PATHWAY PAVING. SEE LANDSCAPE DRAWINGS
24. STONE SEATING AREA. SEE LANDSCAPE DRAWINGS
25. LAWN AND/OR PLANTING AREA. SEE LANDSCAPE DRAWINGS
26. EXISTING GUARDRAIL/FENCE TO REMAIN
27. EXISTING FENCING TO REMAIN. REPAIR AND/OR REPLACE AS NECESSARY
28. LINE OF 100' SETBACK FROM EDGE OF COLUMBIA RIVER HIGHWAY
29. KNEIPP WATER BASIN AREA

REQUIRED OFF-STREET PARKING PER MCC 38.4205

OVERNIGHT ACCOMMODATIONS:	5 GUEST ROOMS	= 5 PARKING SPACES
RESTAURANT/DINING ROOM:	1225sf/100sf	= 12 PARKING SPACES
SPA FACILITIES (PERSONAL SERVICE):	3975sf/400sf	= 10 PARKING SPACES
COMBINED REQUIRED:		= 27 PARKING SPACES
TOTAL PROVIDED:		= 27 PARKING SPACES

COMMERCIAL EVENT PARKING

COMMUNITY LECTURES:	40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) TOTAL LECTURE PARKING REQUIRED = 19 + 5 = 24
SEASONAL DINNERS:	40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) TOTAL DINNER PARKING REQUIRED = 19 + 5 = 24
ANNUAL STAFF HOLIDAY PARTY:	80 GUESTS MAXIMUM - INCLUDING STAFF (80/3)=27 TOTAL HOLIDAY PARTY PARKING REQUIRED: 27

NOTES REGARDING COMMERCIAL EVENTS:

1. TOTAL REQUIRED PARKING FOR COMMUNITY LECTURE + SEASONAL DINNER EVENTS INCLUDES PARKING FOR OVERNIGHT ACCOMMODATIONS.
2. OVERNIGHT ACCOMMODATIONS WILL NOT BE AVAILABLE DURING ANNUAL HOLIDAY PARTY
3. THE WELLNESS CENTER/SPA FEATURES WILL NOT BE OPEN DURING COMMERCIAL EVENTS

1 Site Plan
SCALE: 1/16" = 1'-0"



EMERICK ARCHITECTS

321 SOUTHWEST FOURTH AVE SUITE 202 PORTLAND OR 97204
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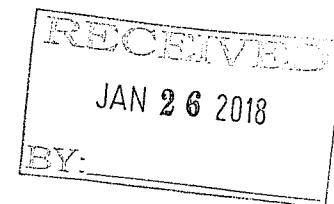
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SITE PLAN

PROJECT NO: 1723
DRWN BY: JC CHK'D BY:KMD
DATE: 1/19/2018

A0.1

LAND USE SUBMITTAL



PLAN LEGEND:

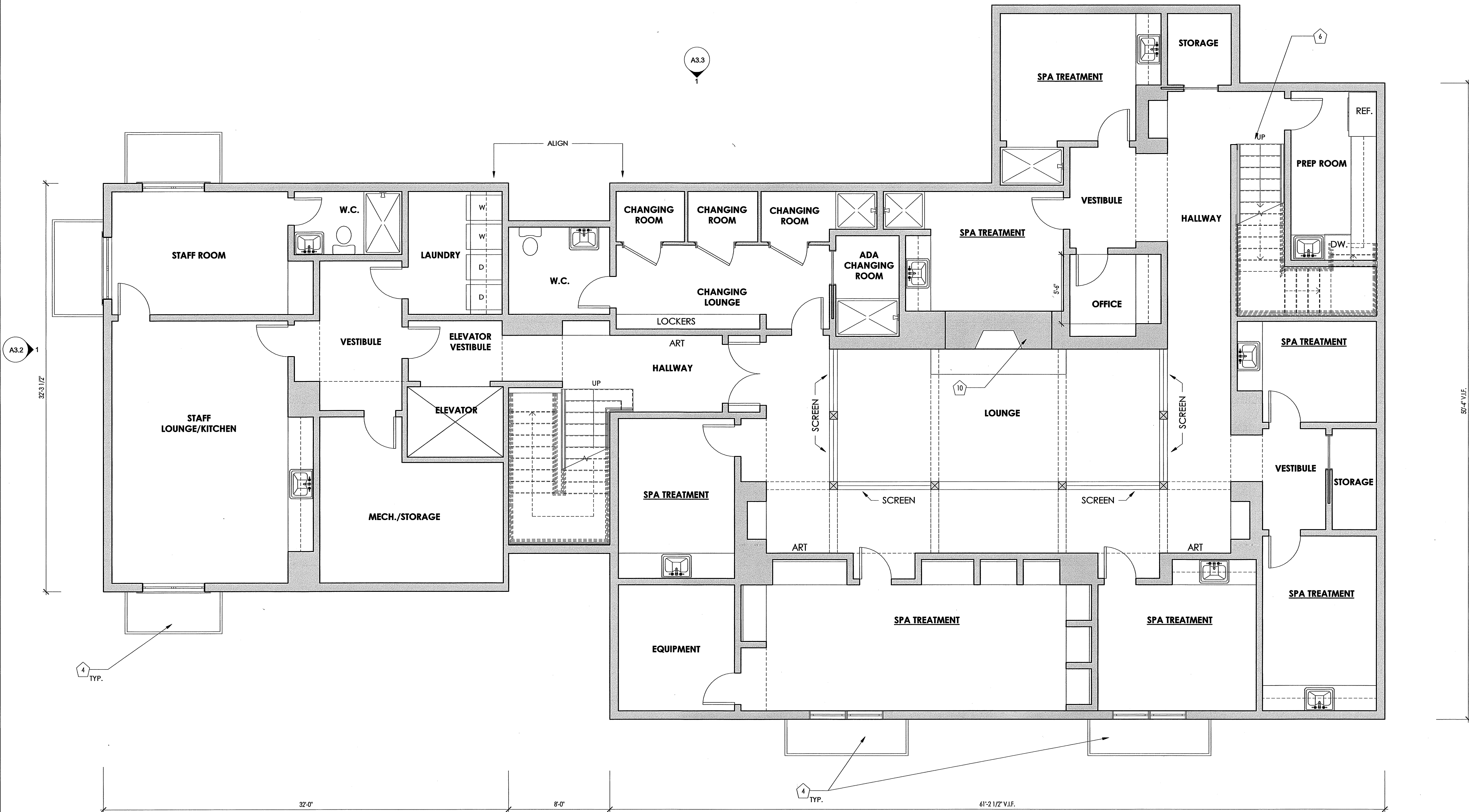
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COASER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TSUKUBAI WATER BLESSING
3. DOUBLE HEIGHT SPACE
4. WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
5. RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. NEW WALK-IN COOLER
8. SEE MATERIALS SHEET LUR-XX FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9. NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (E) SECOND FLOOR FIREPLACE



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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BASEMENT FLOOR
PLAN - PROPOSED

PROJECT NO: 1723
DRWN BY: JC |CHK'D BY:KMD
DATE: 1/19/2018

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PLAN LEGEND:

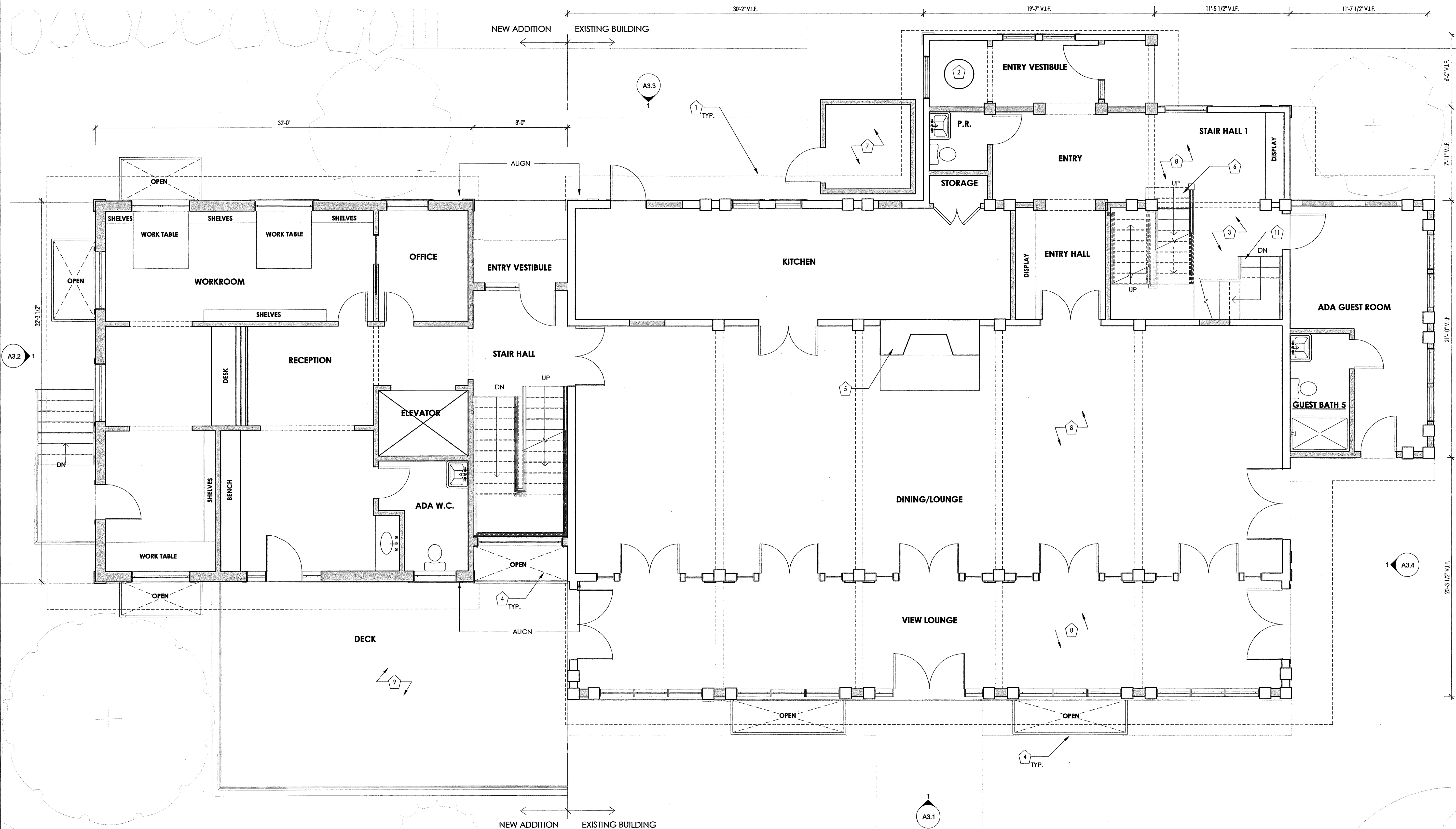
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- ITEM ABOVE

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10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (E) SECOND FLOOR FIREPLACE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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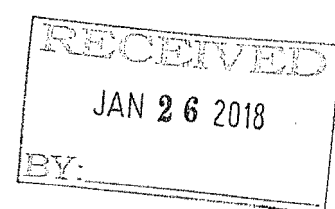
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FIRST FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
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DATE: 1/19/2018

A2.2



PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
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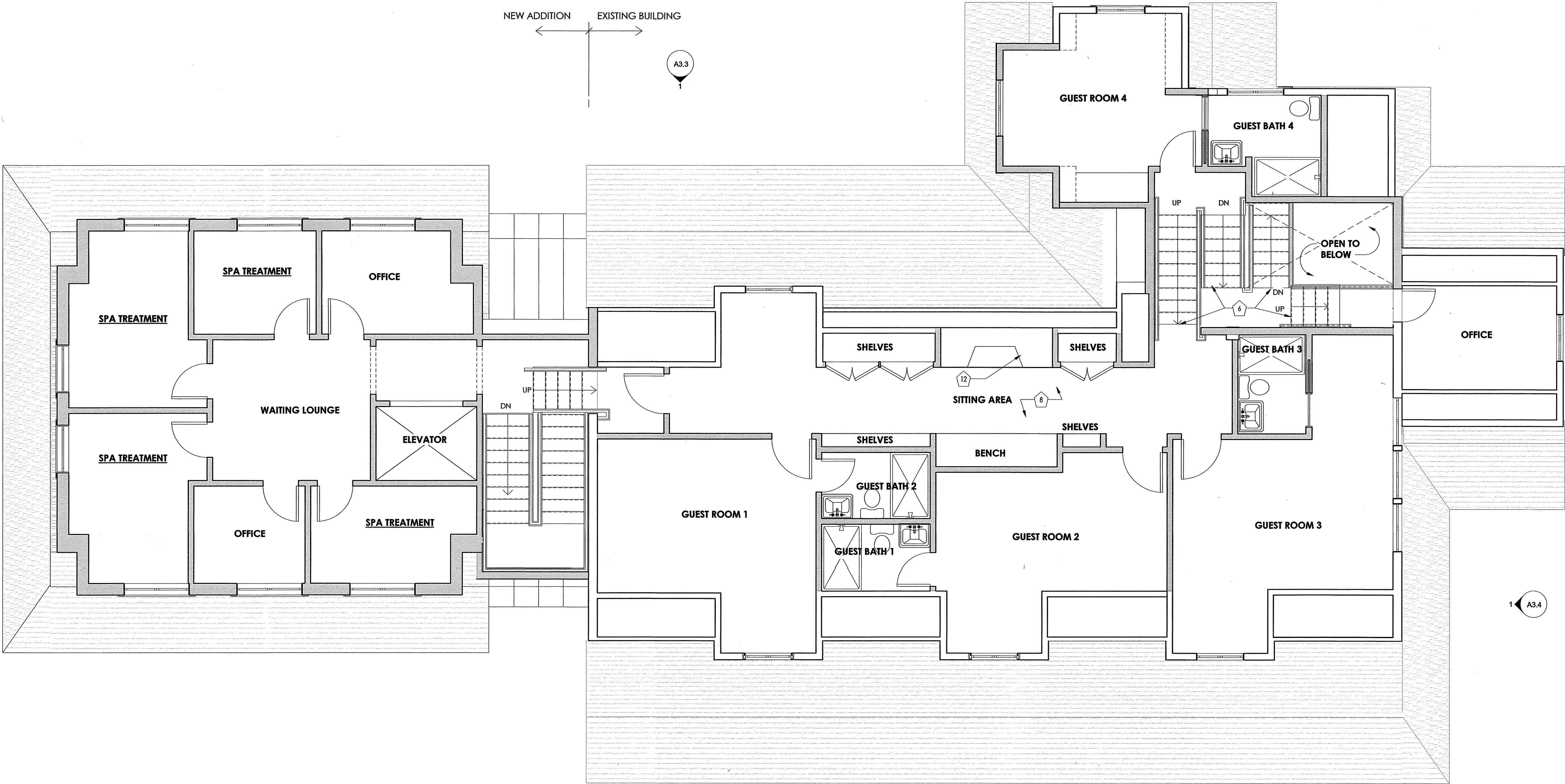
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4. WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
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9. NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (E) SECOND FLOOR FIREPLACE

NEW ADDITION EXISTING BUILDING

A3.3

A3.2



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEW ADDITION EXISTING BUILDING

A3.1

A3.4

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SECOND FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
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DATE: 1/19/2018

A2.3

LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

- 1 MATCH (E) ROUGH HEWN TIMBER TRIM
- 2 REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS; REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
- 3 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED, PROVIDE SPARK ARRESTOR @ NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
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- 9 NEW WINDOW WELL TO BASEMENT, TYP.
- 10 NEW DORMER IN LOCATION OF PREVIOUS DORMER, PATCH + REPAIR AS REQ.
- 11 NEW RIDGE SKYLIGHT
- 12 NEW WOOD DECK W/ PTD METAL RAILINGS
- 13 MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENING
- 15 NEW PARGED CONCRETE BASE AT ADDITION
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- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS NEC.
- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED



1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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WEST ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

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ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT
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- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED

EMERICK ARCHITECTS

321 SOUTHWEST FOURTH AVE SUITE 200 PORTLAND, OR 97204
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NORTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

A3.2

LAND USE SUBMITTAL



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

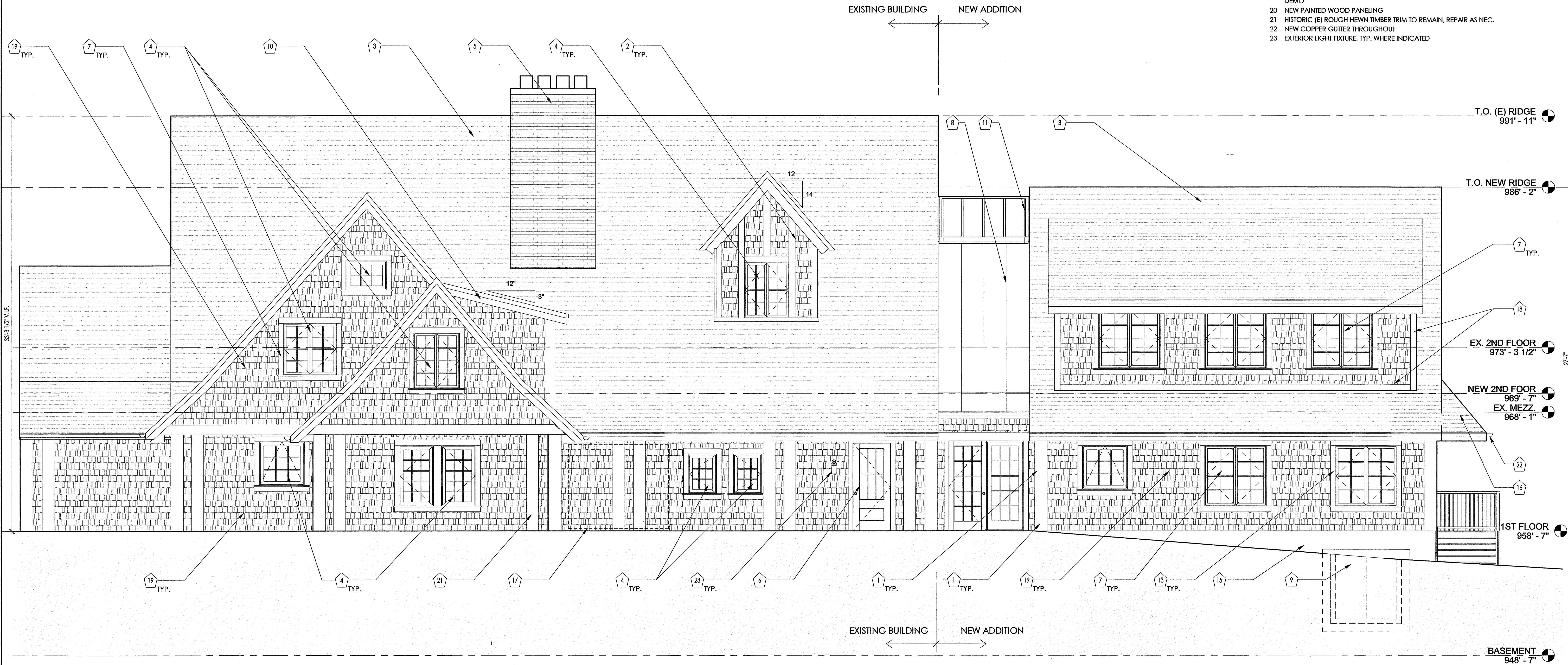
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BY: _____

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1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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EAST ELEVATION -
PROPOSED

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DATE: 1/19/2018

A3.3

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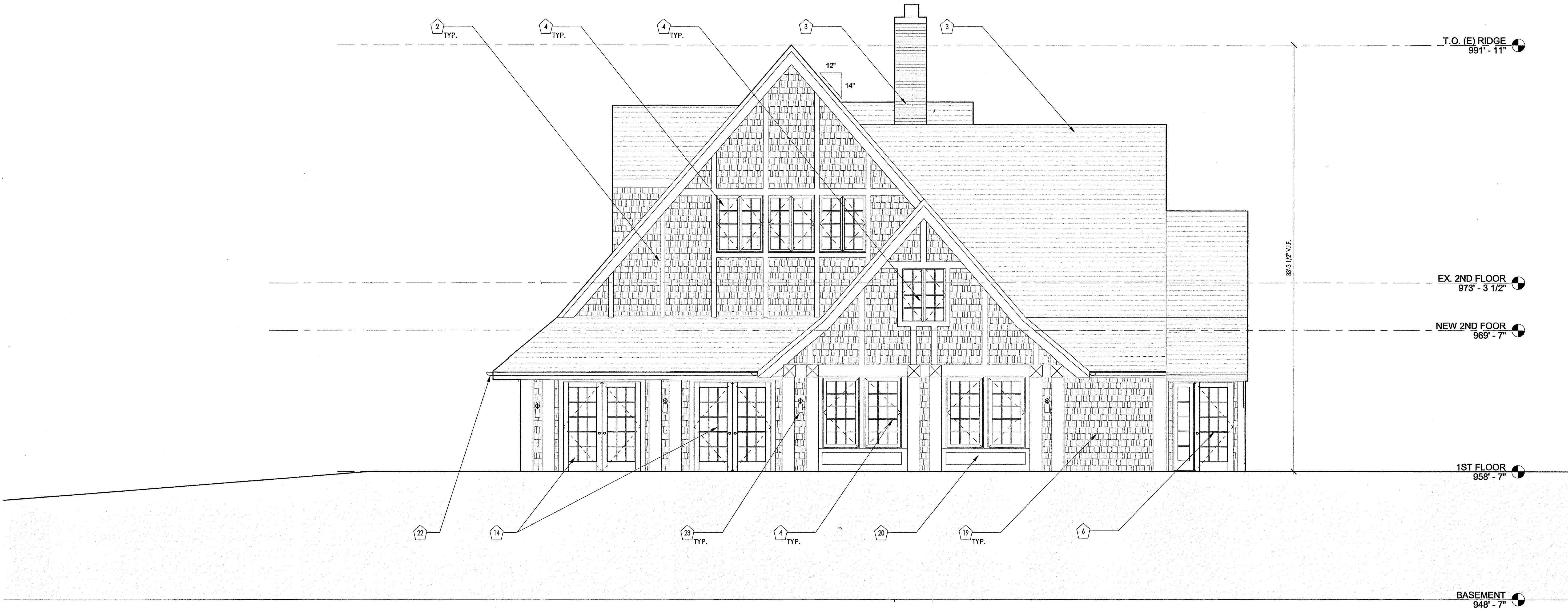
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1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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NOT FOR
CONSTRUCTION

REV. #:	DATE:	DESCRIPTION:

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

SOUTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC |CHKD BY:KMD
DATE: 1/19/2018

A3.4

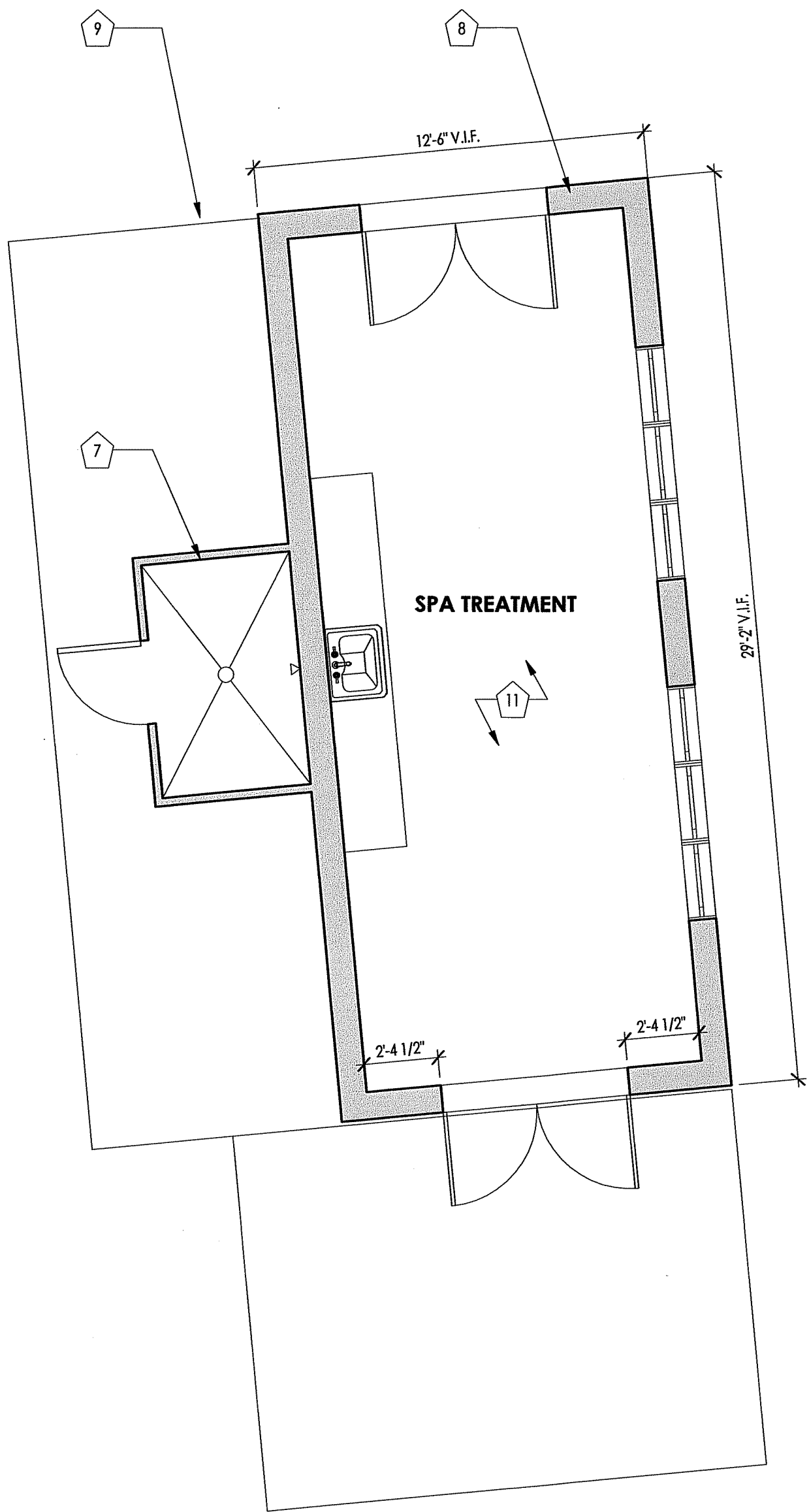
LAND USE SUBMITTAL

ELEVATION NOTES:

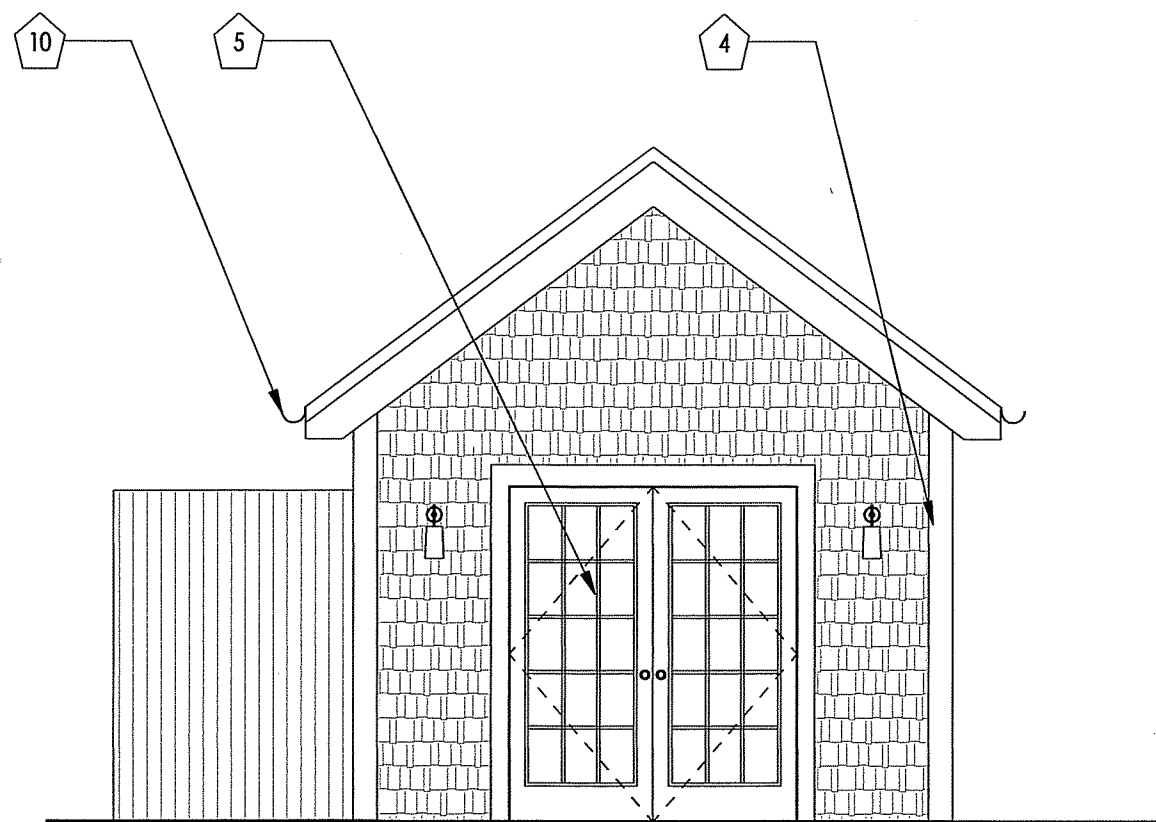
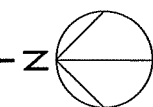
- 1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT
- 2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
- 3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
- 4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED OUTBUILDING KEYNOTES:

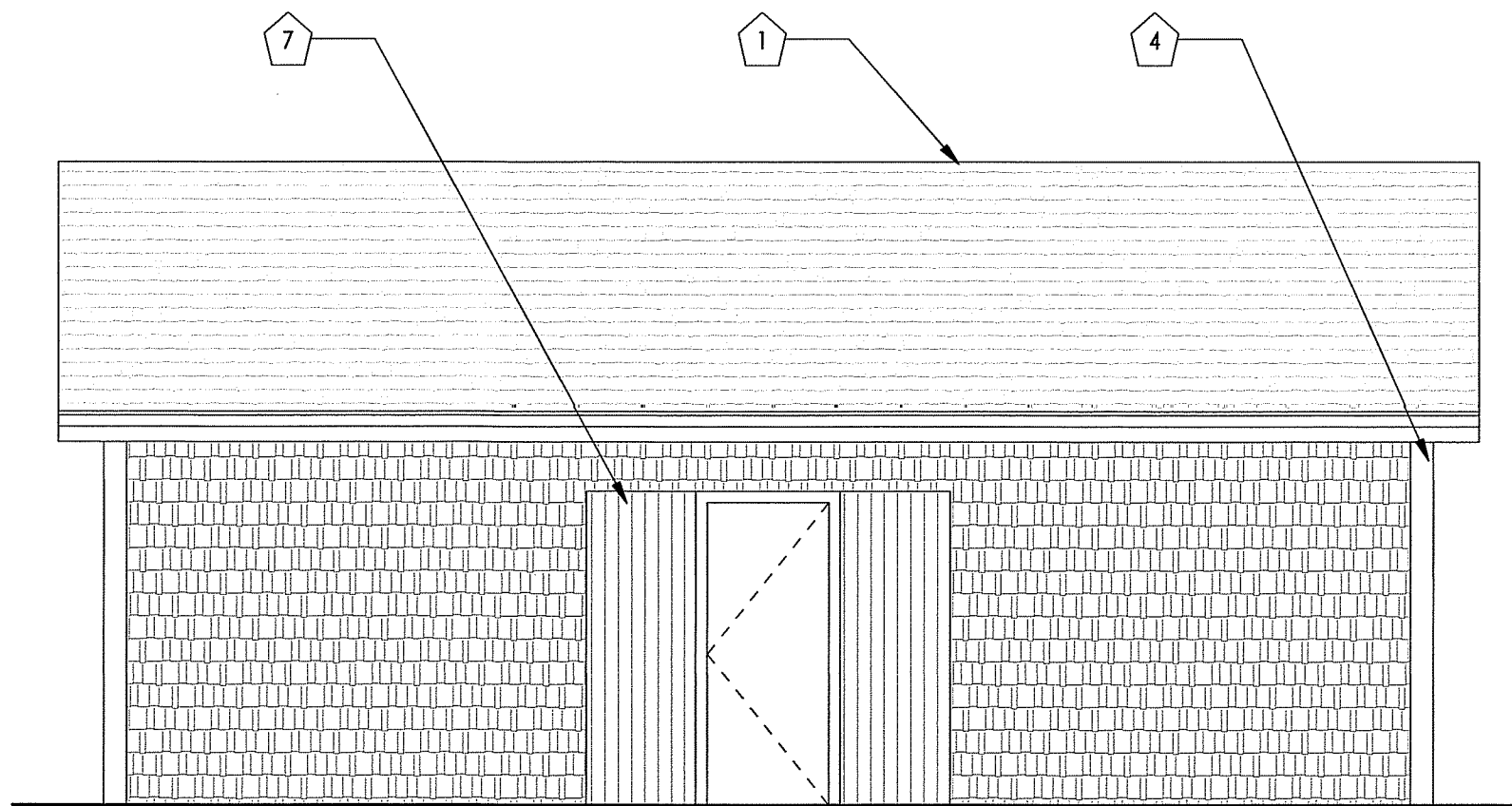
- 1 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL ROOF OF MAIN BLDG.
- 2 MATCH (E) WINDOW TRIM AT ALL NEW WINDOWS
- 3 NEW ALUMINUM CLAD WOOD WINDOWS TO MATCH MAIN BLDG. DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 4 MATCH (E) HISTORIC TRIM
- 5 NEW ALUMINUM CLAD, WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 6 NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
- 7 OUTDOOR SHOWER WITH NATURAL WOOD ENCLOSURE
- 8 RECONSTRUCTED ACCESSORY BUILDING ON EXISTING FOOTPRINT
- 9 TERRACE. SEE LANDSCAPE DRAWINGS
- 10 NEW COPPER GUTTER THROUGHOUT
- 11 REPAIR OR REPLACE EXISTING SLAB ON GRADE AS NECESSARY
- 12 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED



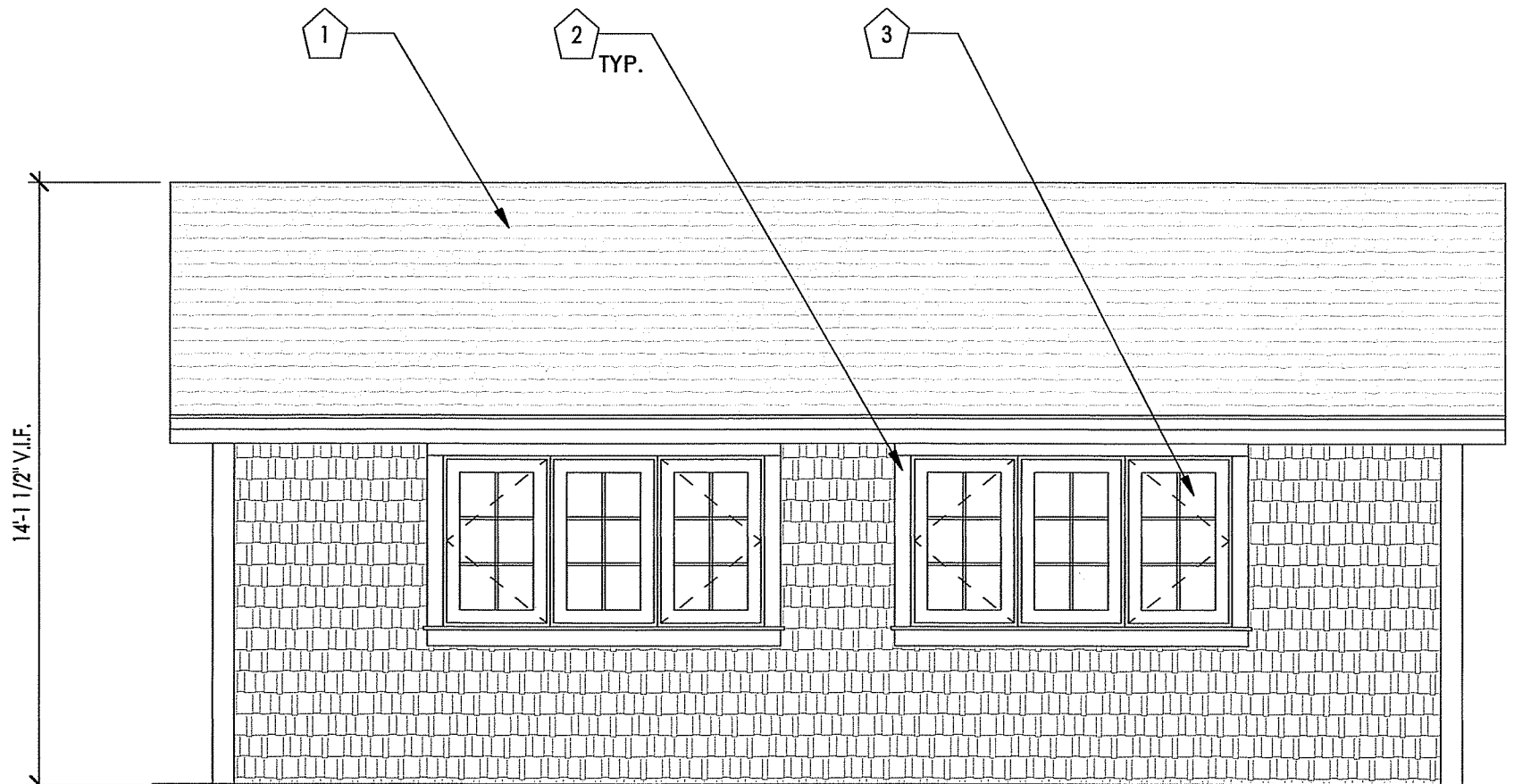
1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



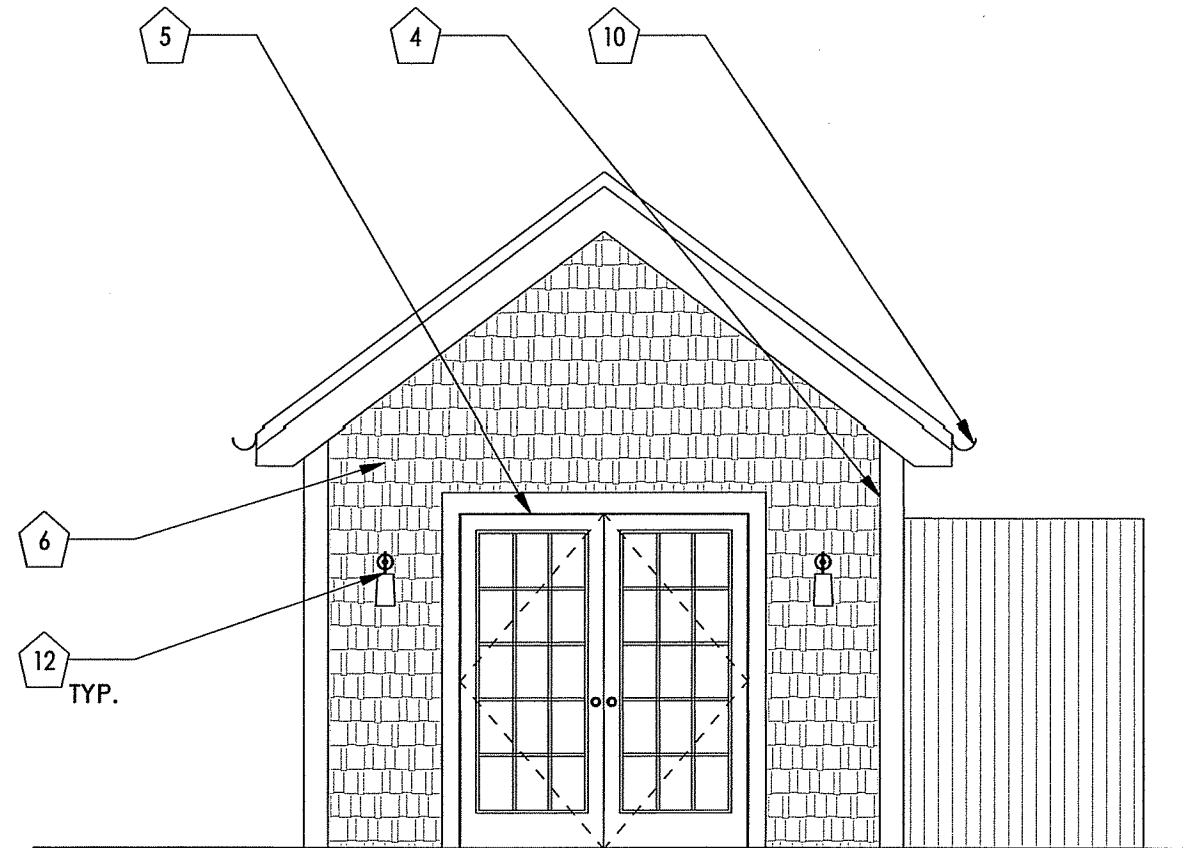
2 WEST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"

EMERICK ARCHITECTS

321 SOUTHWEST FOURTH AVE SUITE 202 PORTLAND OR 97204
P 503.235.9403 W EMERICK-ARCHITECTS.COM

CONSULTANT

LOGO

SPACE

REVIEW SET

NOT FOR
CONSTRUCTION

REV. #: DATE: DESCRIPTION

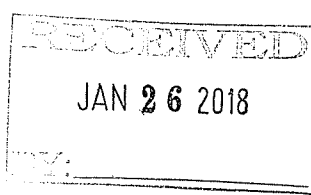
HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

ACCESSORY BUILDING

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

LAND USE SUBMITTAL

A3.5



VIEW POINT INN AND WELLNESS CENTER

RENDERED WEST ELEVATION

01.19.18



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EXHIBIT
A.11

VIEW POINT INN AND WELLNESS CENTER

EXISTING VIEW FROM WOMEN'S FORUM

01.19.18



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VIEW POINT INN AND WELLNESS CENTER

NEW VIEW FROM WOMEN'S FORUM

01.12.18



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VIEW POINT INN AND WELLNESS CENTER

KEY VIEWING AREAS

01.19.18

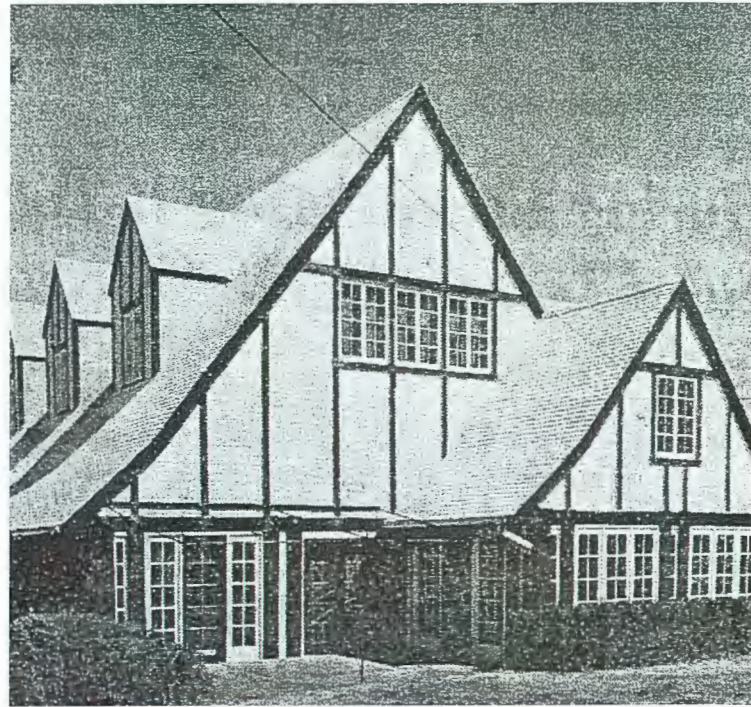


EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTOS- EXTERIOR

01.19.18



WINDOW PATTERN PREDECENT
c. 1972



AERIAL SITE PHOTO
c. 1960



NATIONAL REGISTER - EAST
c. 1984



NATIONAL REGISTER - SW CORNER
c. 1984



NATIONAL REGISTER - WEST
c. 1984



NATIONAL REGISTER - NW CORNER
c. 1984

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTOS- INTERIOR

01.19.18



GREAT HALL
c. UNKNOWN



ENTRY HALL STAIR
c. 1984



ENCLOSED VERANDA
c. UNKNOWN



SECOND FLOOR FIREPLACE
c. 1984



GREAT HALL FIREPLACE
c. 1984



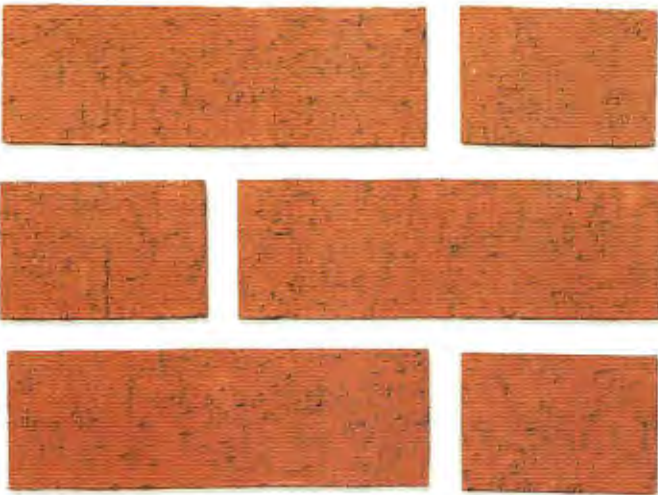
NATIONAL REGISTER - OPEN VERANDA
c. 1984

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VIEW POINT INN AND WELLNESS CENTER

EXTERIOR MATERIALS

01.19.18



BRICK CHIMNEY
Mutual Materials
Columbia Red, Mission texture



SAWN CEDAR SHINGLE ROOF
Match size - texture of original roof found
under existing shakes



STANDING SEAM COPPER ROOF
At New Stair Connection
Pre-Patinated for Aged Appearance



CEDAR SHINGLE SIDING + WOOD TRIM
Match existing size - 5 1/4" visible- and texture
Match historic black - white color scheme



ROUGH HEWN WOOD TRIM
Match existing size and texture

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

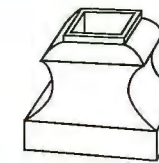
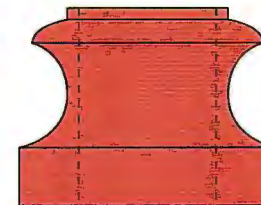
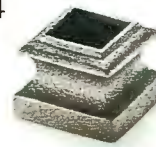
EXTERIOR SPECIFICATIONS

01.19.18



EXTERIOR WALL LANTERN
Hinkley 'Adair
Aged Zinc finish

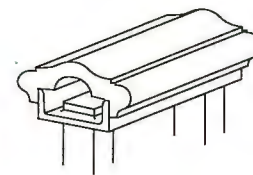
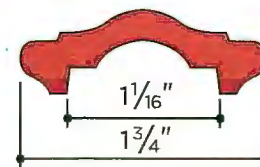
354



Square Hole

EXTERIOR TERRACE POST BASE

Julius Blum 369
Black painted finish

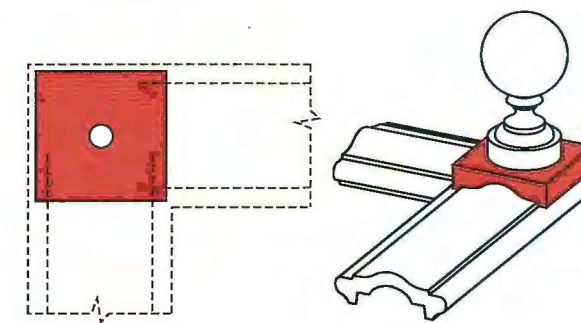


4429 used with 1" channel

■ **4429** Prime Domestic Steel 1.50 lb/ft
Fittings: B-C-CC-CL-CR-E-F-GL-GR-JL-JR-L-N-S-
SL-SR-T-U-UC-UL-V

EXTERIOR TERRACE HANDRAIL

Julius Blum 4429
Black painted finish



EXTERIOR TERRACE FINIALS

Julius Blum 3543
Black painted finish

0 1"



1 1/2"

■ **331L**
Forged
Steel

EXTERIOR TERRACE STARTING POST

Julius Blum 331L
Black painted finish

0 3/8"



9 1/2"

■ **330L**
Steel

EXTERIOR TERRACE SPINDLES

Julius Blum 330L
Black painted finish

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VIEW POINT INN AND WELLNESS CENTER

EXTERIOR LIGHTING
01.19.18



PATHWAY LIGHTING

Bega Bollard
Finish: Graphite
Color Temp: 3000K
LED Bollard
Heights: 7.5" + 14.25"



PARKING AREA LIGHTING

Bega Small Scale Floodlight + 18 Ht Steel Pole
Finish: Black
Color Temp: 4000K
LED Floodlight



VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS

01.19.18



EXISTING GREAT ROOM WALL CEILING

Replace existing non-historic wallboard with sand-finished plaster to match historic finish



EXISTING GREAT ROOM FIRWALL PANELLING

Match profile throughout, refer to interior elevations for panel layout



EXISTING FIR NEWELL POST

To be salvaged, repaired, and relocated to new stair location



EXISTING DOOR CASING

Match size and detail for new casings throughout

VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS

01.19.18



EXISTING VERANDA CEILING

Replace with new 3 1/4" tongue and groove boards w/beveled edges to match existing historic ceiling



FLOORING THROUGHOUT

Replace with new 2 1/4" maple flooring to match historic floor



EXISTING GREAT HALL FIREPLACE

Restore existing river rock fireplace and wood mantle



EXISTING SITTING ROOM FIREPLACE

Restore existing painted wood surround and reinstate in Sitting Room

EMERICK ARCHITECTS

1600 SE 190th Avenue, Portland OR 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

PRE-APPLICATION CONFERENCE NOTES

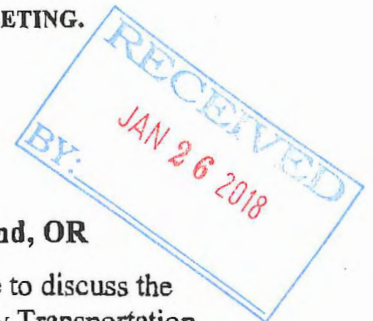
THIS IS NOT A PUBLIC HEARING, IT IS AN INFORMATIONAL MEETING.

Case File No.: PA 2016 - 6044

MEETING TIME AND PLACE

November 3, 2016 at 11:00 am

Room 103: Columbia Room, 1600 SE 190th Avenue, Portland, OR



WHAT: A Pre-Application Meeting is to be held on the date above to discuss the applicable Multnomah County Land Use Code and County Transportation requirements and application for a Conditional Use Permit for establishing a retreat facility with overnight accommodation within a historical building in the Gorge General Forestry – 40 zoning district.

LOCATION: 40301 E Larch Mountain Road
Tax Lot 1600, Section 30CC,
Township 1 North, Range 5 East,
W.M.
Alt. Acct. R832300010

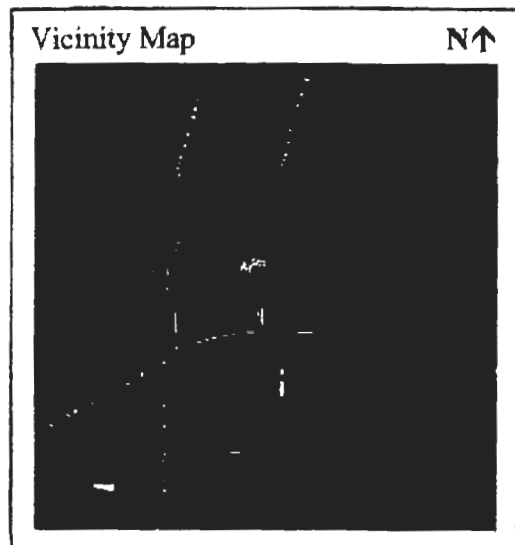
No Situs Address
Tax Lot 1500, Section 30CC.
Township 1 North, Range 5 East,
W.M.
Alt. Acct. R832301940

APPLICANT: Brian and Kaitlin Aho

BASE ZONE: Gorge General Forestry - 40
(GGF-40)

LANDSCAPE: Pastoral

CONTACT: The applicable County Code provisions, Comprehensive Plan Policies and County Transportation requirements will be discussed at the Pre-Application Meeting. For further information regarding the meeting, contact Rithy Khut, Planner at Multnomah County's Land Use Planning Division at (503)-988-0176. The notes from this meeting can be obtained by attending the meeting or by contacting Multnomah County after November 3, 2016.



The following is for informational purposes only. No approvals or conclusions have been drawn about this project. Until such time as the necessary Land Use Applications are submitted and reviewed, no decisions will be or have been made regarding the project's compliance with the land use regulations of Multnomah County.

Outline of the Pre-Application Meeting's Purpose and Process

I. Meeting Purpose:

- (A) The Pre-Application meeting is to provide information to an applicant for a land use action that will assist them in completing the application.
- (B) The objectives of the meeting are to clarify the proposal, inform the applicant of the applicable procedures and approval criteria, and to identify all known issues.
- (C) A Pre-Application meeting is a standard requirement for all applications that require a public hearing.

II. Meeting Structure:

- (A) This is not a public hearing and no decisions will be made. The meeting is meant to be informal in nature.
- (B) The Multnomah County planning staff will be responsible for conducting the meeting. Staff will begin the meeting by asking for introductions of those in attendance.
- (C) The applicant will be responsible for explaining their proposal. This explanation is especially helpful to the public who have not seen the application materials and is an opportunity to share relevant information with their neighbors.
- (D) Planning staff will be responsible for reviewing the applicable procedures and approval criteria and to identify all known issues.
- (E) Members of the public and other agency representatives will be provided the opportunity to ask questions about the proposal and will be asked to identify any relevant issues.

III. Other Opportunities for Review:

- (A) If you are interested in the proposal and are unable to attend the Pre-Application meeting, you may review the Pre-Application case file at the offices of Multnomah County Land Use Planning, located at 1600 SE 190th Avenue, Portland, between 8:00 a.m. and 4:00 p.m., Tuesday through Friday, except holidays.
- (B) After the Pre-Application meeting, and after the application has been deemed "complete" by responding to each approval criteria, you will receive a notice announcing the date, time, and place of the Public Hearing. Failure to participate at the Pre-Application meeting will not preclude your involvement at the first scheduled hearing on the completed application.

MEETING PURPOSE

This Pre-Application meeting and the following notes are provided to assist you in preparing a land use application. Our objectives for the meeting are to clarify your proposal, inform you of the applicable procedures and approval criteria, and to identify all known issues. By the end of the meeting, we hope you will have a better understanding of the Code and the application process in relation to your proposed use. We will provide copies of applicable code.

The following notes are for informational purposes only. No approvals or conclusions have been drawn about this project. Until such time as the necessary land use applications are submitted and reviewed, no decisions will be made regarding the project's compliance with the applicable criteria.

Notwithstanding any representations by County staff at a Pre-Application meeting, staff is not authorized to waive any requirements of Multnomah County Code (MCC). Any omission or failure by staff to recite to an applicant all relevant applicable land use requirements shall not constitute a waiver by the County of any standard or requirement. [MCC 38.0570(C)]

After the meeting, if you have any questions regarding the criteria, the process, or the next step, please contact the case planner, Rithy Khut at 503-988-0176.

INTRODUCTION

We understand you would like information about County permits that are required and application process for establishing a retreat facility with overnight accommodation within a historical building.

REQUIRED PERMITS

Conditional Use	The purpose of the Conditional Use provides for the review and approval of the location and development of special uses which, by reason of their public convenience, necessity, unusual character, or effect on the neighborhood, may be appropriate as specified in each district.
National Scenic Area Site Review	The purpose of the National Scenic Area Site Review is to ensure that new development does not compromise the scenic, natural, cultural and recreational resources of the Columbia River Gorge National Scenic Area. Applicants are typically focused on scenic and natural resource criteria, as outside agencies provide assistance on cultural and recreational resource issues as part of the County's review process. Detailed site plan and building elevations are required for this type of application, and the County will be looking at specific design details such as the location, orientation, color and materials of structures to ensure that they blend with the surrounding natural landscape. You will need to demonstrate that the scenic area standards are met. The County has detailed handouts explaining how that can be achieved.

**Hillside
Development
Permit**

The purpose of Hillside Development Permit is to assure the building site is safe and stable, minimize grading (excavation) to the amount necessary for the proposed development, prevent erosion, control stormwater discharges and prevent damage to properties and streams from earth movements, erosion or stormwater runoff. At a minimum, you will need to hire a Certified Engineering Geologist or Geotechnical engineer to evaluate the property and confirm that the building site will be safe and stable. A site plan and narrative is needed explaining how the approval criteria have been met and, if adding more than 500 square feet of impervious surfaces, you will need to hire an engineer to evaluate how the stormwater will be managed.

Variance

The purpose of the Variance review process is to provide a mechanism by which certain dimensional standards may be modified if the proposed development continues to meet the intended purpose of the regulations. The County may permit and authorize a variance from the dimensional requirements such as the front yard setback only when there are practical difficulties for establishing as use and meets the criteria listed in the Code

Replat

The purpose of the Replat review is to allow reconfiguration or combination of properties located within a partition plat or subdivision according to the land division and zoning requirements. Your surveyor will need to prepare a tentative plan showing how approval criteria are met and, after approval, your surveyor will need to prepare and record a partition plat.

KEY ISSUES

LAND USE

1. In order for the County to be able to approve any land use application for development or building permits, the property must be in full compliance with all applicable codes [MCC 38.0560]. Full Compliance means the property must be a legal parcel, any structures on site were properly reviewed or permitted and any conditions from previous land use decisions have been satisfied.
 - There are no known zoning or compliance issues associated with the property.
2. A legal parcel is defined in MCC 38.0015. A legal parcel is a piece of property that when placed in its current configuration, met all zoning and land division codes in place at that time. The subject properties are located in the Thor's Heights Subdivision. The former Inn is located on Block 1, Lot 1 and 2 and the parking lot is located on Block 2, Lot 2.
 - The subject properties were created as part of a subdivision and remain in the same configuration, therefore; they are a legal parcel(s).
 - However, based on the site plan the structure that was once the Viewpoint Inn is located on a property line, the property will require a replat to consolidate two lots.
3. Multnomah County Code (MCC) 38.0030(E) and MCC 38.0030(F) requires the County complete a full NSA Site Review to permit a use in the structure for any use of structure that is discontinued for one (1) year or more.

- The legal structures on the subject properties may not be occupied until such time as a new use is established because the structures have been vacant for more than one year.
 - Each new use must be in compliance with the zoning district in which it is located and meet the site review standards to be brought into compliance with scenic criteria (visual subordination) and other site review criteria MCC 38.7035 through 38.7080 (labeled GMA).
 - Any new structure and parking area must meet the applicable setback standards (an adjustment or variance maybe be possible). Parking must meet off-street parking standards of MCC 38.4100 through 38.4215.
 - The proposed use in the existing structure will require a variance due to the inadequate setback to Columbia Ave. Variance standards can be found in MCC 38.0065 and MCC 38.7600.
4. The Pre-Application Request Form states the proposal will include the remodel and restoration of what was formerly the Viewpoint Inn for the establishment a retreat center. From discussion with the owner, it was also discussed that overnight accommodation could also be proposed.
- The subject property is zoned Gorge General Forestry -- 40 (GGF-40). The GGF-40 zone allows for the establishment of special uses in historic buildings as a Conditional Use Permit, subject to MCC 38.7380, which includes:
 - MCC 38.7380(C)(2) - Overnight accommodations. The room capacity of such accommodations shall be limited to the total number of lawfully existing rooms in the historic building as of January 1, 2006.
 - MCC 38.7380(C)(6) - A conference and/or retreat facility within a historic building, as the building existed as of January 1, 2006.
 - If Commercial Events (weddings, receptions, parties and other gatherings that are incidental and subordinate to the retreat center) are proposed, an **Operational Plan** as specified by MCC 38.7380 (F)(1)(b)(iv) **will be required.**
 - The property was accepted to the National Register of Historic Places in 1985 and according to Chrissy Curran, Oregon State Parks and Recreation - State Historic Preservation Office, the building is on the National Register.
 - As part of your application, documentation of a prior eligibility determination shall be included in the application.
 - Each of these uses will require additional review criteria as described in MCC 38.7300, 38.7380(F) and (G).
 - MCC 38.7380(F) requires that a "Protection and Enhancement Plan" be submitted as part of your application for review by State Historic Preservation Office (SHPO).
 - MCC 38.7380(G) contains certain standards that address health, safety, and potential impacts to surrounding neighbors. Your operational plan should reflect those standards.
5. A Conditional Use Permit approval will also be subject to a full National Scenic Area Site Review as described in MCC 38.7000 through MCC 38.7085.

- Any new use or structure in the National Scenic Area is subject to full National Scenic Area Site Review. The NSA approval criteria address visual, historical, cultural and natural resources. As such, you will need to provide detailed information on all structures, including specific colors, building materials, floor plans, etc.
 - The subject properties are located within multiple Key Viewing Areas (KVAs) including the Columbia River, Historic Columbia River Highway, I-84, Larch Mountain, Portland's Women's Forum, SR-14, and the Sandy River.
 - Any new buildings will need to be painted or colored in dark earth toned colors that blend with the surrounding landscaping and materials need to be non-reflective (metal is prohibited). Please include paint chips, manufacturers information for siding, windows etc. You will also need to show where any exterior lighting would be located and manufacturer information on the lights for review.
 - Rehabilitation of or modifications to existing significant historic structures shall be exempted from visual subordination requirements for lands seen from Key Viewing Areas. However the rehabilitation shall be consistent with National Park Service regulations for historic structures
 - Buildings and structures that are existing and not deemed Historic must meet the visual subordination standards, which could include the above requirements regarding painting color and screening.
 - The subject properties are located within the Pastoral landscape setting as described in MCC 38.7035(C)(1). If new development or expansion of existing development is proposed those standards will need to be met.
 - The subject properties are located within the Scenic Travel Corridor as described in MCC 38.7035(D). If new development or for existing development alteration or expansion is proposed those standards will need to be met, however a variance may be granted pursuant to MCC 38.0065.
6. A Conditional Use Permit approval shall be for the specific use or uses approved together with the limitations or conditions as determined by the hearings officer. Your submitted materials need to be very detailed and set at the time you submit the application. Nothing in this land use decision is preliminary. If your plans are to start with a retreat center and you decide to allow for overnight accommodation, you must express this in your application materials. If you imagine that you will host commercial events, you must state that as part of your application. Hours of operation, number of employees, transportation methods, etc. will be set through this process.
- If your retreat center needs to expand or operations need to be altered, you must go back through this process to do so. Your operation will be bound to this approval and is limited by it.
7. The submitted application will need a written narrative addressing each criterion individually and demonstrating how that criterion is met by the proposed development (i.e. explain 'how' or 'why' a criterion is satisfied). The narrative needs to address 'how' or 'why' a standard is satisfied or not applicable. Conclusory statements or repeating the standard back does not satisfy the standard. A good way to format your written narrative to ensure each specific approval criterion is addressed is as follows:

Example:

MCC 38.7035(A)(1) The following scenic review standards shall apply to all Review and Conditional Uses in the General Management Area of the Columbia River Gorge National Scenic Area:

(A) All Review Uses and Conditional Uses:

(1) New buildings and roads shall be sited and designed to retain the existing topography and to minimize grading activities to the maximum extent practicable.

Response: How or why the standard is met

MCC 38.7035(A)(2) – New buildings shall be compatible with the general scale (height, dimensions and visible mass) of similar buildings that exist nearby (e.g. dwellings to dwellings). Expansion of existing development shall comply with this guideline to the maximum extent practicable. For purposes of applying this standard, the term nearby generally means buildings within ¼ mile of the parcel on which development is proposed.

Response: How or why the standard is met

8. The proposed use will require review of off-street parking as described in MCC 38.4100 through MCC 38.4215.
 - A plot plan will need to be submitted showing the dimensions, access and circulation layout for vehicles and pedestrians.
 - The amount of parking spaces will be based on the estimated number of guest and employees. Typically, for overnight accommodations, it is one space per guest room or suite. For commercial events, it is one space for every three guests allowed within the maximum event size plus one space for each two employees. For conference centers/retreat facilities the use is treated as combinations of uses such as overnight accommodations, restaurant, auditorium, etc., and the required spaces for each separate use shall be provided.
 - Alternatively, you can elect to provide a parking and loading study, which includes estimates of parking and off-street loading demand based on recommendations of the Institute of Traffic Engineers (ITE) or other acceptable estimates.
 - The proposed site plan indicates that the parking spaces will be on an adjacent property across Columbia Ave. Your narrative and site plan will have to discuss and show a safe and convenient route for pedestrians between the parking area and the use will be demonstrated.
9. The new proposed use will need a variance from setback and buffers as described in MCC 38.0065 and MCC 38.7600. Based on aerial photos the existing structure does not meet the setback for the street side, which is 30 feet.
10. A new development, construction of new structures or site clearing will require a Hillside Development Permit as described in MCC 38.5500 – MCC 38.5525.

ADDITIONAL SERVICE PROVIDER REVIEW

11. New uses need to be supported by appropriate service. You will need to submit the following service provider forms:

- Fire Service Agency Review – ensures that the state fire code on fire flow and access are satisfied for your proposed use.
- On-Site Sewage Disposal Form – ensures the proposed use will be adequate for the septic system on the property.
- Sheriff Services Review – ensures that there will be adequate police protection for the proposed use.
- Water Service Certification Form – ensures that there will be adequate water service for the proposed use.

TRANSPORTATION

12. Transportation Impact – A transportation impact is defined in Multnomah County Road Rules 3.000 as any new construction or alteration which increases the number of trips generated by a site by more than 20 percent, by more than 100 trips per day or by more than 10 trips in the peak hour. A minimum increase of 10 new trips per day is required to find a transportation impact. Construction of a new single-family home on a vacant lot will generate 10 new trips (a single-family home generates 10 trips per day on average) and create a transportation impact.

- Applicant will need to provide detailed information about trip generation rates including hours of operation, time of day, deliveries, customers, etc. This will need to be provided as part of the NSA permit application.

13. Right of Way (ROW) Dedication – East Larch Mountain Road is a Multnomah County Jurisdictional road with a Rural Collector functional class and NE Columbia Avenue is a Local Access road. The County's preferred cross section for a Rural Collector is attached to this memo. The preferred ROW width for a Rural Collector is 60 feet (30 feet from centerline); the existing ROW width is 60 feet. The preferred ROW width for a Local Access Road is 60 feet (30 feet from centerline). The current ROW width is 30 feet (15 feet from centerline). An approved variance from the standard ROW width is on file (2016-236535, case file T3-06-006). The County's preferred cross section for both facilities is attached to this memo.

14. Deed Restriction – The property owner will need record deed restrictions (provided by County Transportation) with County Records, committing the property owner to participate in future right-of-way improvements costs. This will need to be completed prior to as a condition of Land Use application approval.

- A non-remonstrance agreement, or “deed restriction” will require that the property owner to participate in standard rural collector road improvements along the site’s frontage that are not completed as a part of the site’s required interim improvements.
- Contact Pat Hinds at (503) 988-3712 to complete the ROW dedication and deed restriction requirement.

15. Access requirements – An access permit is on file (No. 65292), permitting the existing horseshoe type driveway configuration which provides access onto East Larch Mountain

Road and NE Columbia Avenue. This permit also authorizes the two accesses to a gravel parking lot located on tax lot 1500, 1N5E30CC that will serve the parking needs for patrons and employees of the Viewpoint Inn, located on the east side of NE Columbia Avenue. Permitted access location are highlighted on the site plan attached to permit No. 65292.

- In circumstances where there is a transportation impact and no existing driveway permit on file, the County will treat the driveway as a new access. MCRR 18.250 and 4.000 treat any access with a transportation impact as a new access. Prior to submitting the Land Use application, call or email the County's ROW office at 503-988-3582 or row.permits@multco.us and reference EP number EP-2016-6181 in your inquiry.

16. Storm Water – Any alteration of the storm water discharge onto the right-of-way requires a Discharge Permit. Any alteration of storm water drainage to the existing discharge needs to be reviewed by the County. Increased run-off to incorporated Multnomah County could negatively impact the roadway system. ROW staff will review site plans for any increases in runoff to County assets and may require additional information. The County currently accepts Portland Storm Water Manual methodology.

PROCESS - TYPE 3 PROCESS

After the Pre-Application Meeting, you may submit an application for the required permits. Once an application is submitted, it will be assigned to a planner. The planner has 30 days, by state law, to determine whether the application is complete. If an application is incomplete, the applicant has 180 days by state law to submit the requested additional information to make the application complete. If your application is found to be incomplete, we request that you submit the required additional information in one packet rather than trickling information in. This avoids confusion of whether or not you intend to submit other additional information.

Once an application is deemed complete, staff will schedule the application for the next available hearing. Public notice is sent to property owners within 750-feet and is included in the local newspaper. A decision will be rendered by a Hearings Officer on the application after the hearing has been held.

SUMMARY OF APPLICABLE PERMITS, CODES, POLICIES & FEES

These Multnomah County Code (MCC) sections (provided at meeting) can be found under the link titled *Chapter 38 Columbia River Gorge National Scenic Area* on our webpage at:

<https://multco.us/landuse>

These Multnomah County Road Rules (MCCR) sections (provided at meeting) can be found under the link titled *Multnomah County Road Rules* on our webpage at:

<https://multco.us/transportation-planning/development-review-rural-areas>

Land Use Permits	Code Section	Fees
Gorge General Forestry – 20 (GGF-40)	MCC 38.0560 Code Compliance and Applications MCC 38.0015 Definitions – Legal Parcel MCC 38.0030 Existing Uses and Discontinued Uses MCC 38.2030(10) Conditional Uses – Special Uses in Historic Buildings MCC 38.2060 Dimensional Requirements MCC 38.2085 Off-street Parking and Loading MCC 38.2090 Access	N/A
Conditional Use	MCC 38.7380 Special Uses in Historic Buildings	\$3,204 Deposit
National Scenic Area Site Review	MCC 38.7035 GMA Scenic Review Criteria May possibly need to address the following, depending on the site, we will let you know after you have submitted the application and we can assess the proposed development: MCC 38.7045: GMA Cultural Resource Review Criteria, MCC 38.7055: GMA Wetland Review Criteria, MCC 38.7060: GMA Stream, Lake and Riparian Area Review Criteria, MCC 38.7065: GMA Wildlife Review Criteria, and/or MCC 38.7070: GMA Rare Plant Review Criteria, MCC 38.7080: Recreational Resource Review Criteria	\$1,545
Off-Street Parking and Loading	MCC 38.4100 – MCC 38.4215 Off-Street Parking	N/A
Variance	MCC 38.7600 MCC 38.7605 Variance	\$1,055
Replat	MCC 38.7797 Replatting of Subdivision Lots	\$436
	Notice Fee	\$159
	Notice Hearing Sign (will be required to be posted on the property frontage)	\$17 ea
Transportation Permits	Code Section	Fees
	Transportation Impact Analysis	\$49

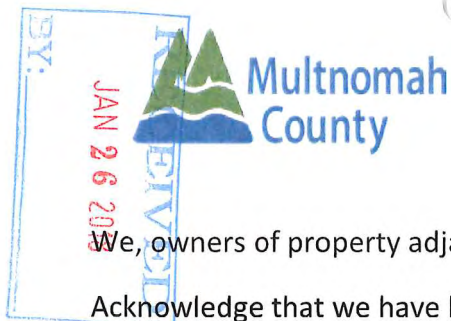
APPLICATION SUBMITTAL

Multnomah County Land Use Planning Office will not accept an application that is lacking fundamental components. The planner on counter duty will briefly review materials submitted using the checklist below to determine if the fundamental components have been submitted. This cursory review is not a completeness review, which will be conducted within 30-days of application submittal.

1.	Completed Application Form: signed by the all property owners and the applicant along with the required fee(s).		X	
2.	Narrative: Written narrative providing a clear and complete description of your proposal and specifically addressing each applicable code section. List the code reference you are responding to in your narrative and your response to that criterion. Applicable criteria you must address in your narrative are previously listed in these notes. Reference in your narrative any supporting documents you are attaching (including required site map) to demonstrate how your proposal meets a particular code criterion.		X	
3.	Scaled Site Plan: see Site Plan Checklist for items needed on the site plan		X	
4.	Certification of On-Site Sewage Disposal Form and site plan signed by the Sanitarian (green form)		X	
5.	Fire District Review Form		X	
6.	Certification of Water Service form		X	
7.	Sheriff's Office Review		X	
8.	Transportation Certification Form: Please contact County Right-of-Way at (503) 988-3582 or at row_permits@multco.us		X	
9.	Traffic Study		X	

ADDITIONAL ASSISTANCE

Please contact Planner Rithy Khut at (503) 988-0176 or by e-mail at rithy.khut@multco.us with any questions. Scheduling an appointment is necessary to see your case planner. In the event your case planner is unavailable, the planner on duty can also help answer questions at (503) 988-3043. Hours for the planner on duty are Tuesday – Friday, 8:00 AM – 4:00 PM, except holidays. Please note a building permit plan check fee and erosion control inspection fee may be required at building plan signoff after the conclusion of the land use review process. These fees do not need to be paid at the time of land use application submittal.



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

**PROPERTY OWNER
CONSENT OF
VARIANCE
REQUEST**

We, owners of property adjacent to, or in the vicinity of 40301 E Larch Mountain Rd. Corbett, OR 97019
(Address)

Acknowledge that we have been informed of a variance request regarding property described
as 1N-5E-30CC Tax Lot 1600 & 1500

(Tax Roll Description, i.e. Tax Lot #, Section #, Township #, or Lot #, Subdivision Name)

and that we have reviewed a site plan which shows the development as proposed. By signing this document, we hereby give our consent for approval of the requested variance.

(Printed Name) (Address)

(Signature) (Tax Roll Description)

(Printed Name) (Address)

(Signature) (Tax Roll Description)

(Printed Name) (Address)

(Signature) (Tax Roll Description)

(Printed Name) (Address)

(Signature) (Tax Roll Description)

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