

EMERICK ARCHITECTS
321' N. W. 4TH AVE. SUITE 200 PORTLAND, OR 97204
P 503.235.8400 W EMERICKARCHITECTS.COM

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EXHIBIT
I.7

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING

LAND USE SUBMITTAL

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

TOPOGRAPHIC SURVEY FOR PETER MEIJER ARCHITECT
 LOCATED IN THE SW 1/4 OF SECTION 30 AND THE NW 1/4 OF SECTION 31,
 TOWNSHIP 1 NORTH, RANGE 5 EAST W.M.
 LOTS 1 AND 2 OF BLOCK 1 AND LOT 2 OF BLOCK 2, RE-PLAT OF PARTS OF
 BLOCKS 1 & 2 OF THOR'S HEIGHTS ADDITION,
 MULTNOMAH COUNTY, OREGON.
 TAX LOTS 1500 & 1600, 1N-5E-30CC

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO PROVIDE TOPOGRAPHIC DETAIL FOR TAX LOTS 1500 & 1600 OF MULTNOMAH COUNTY ASSESSORS MAP 1N-5E-30CC. FIELD WORK WAS COMPLETED MARCH 18, 2017. PLEASE SEE THE ASSOCIATED PROPERTY BOUNDARY SURVEY FOR COMPLETE PROPERTY BOUNDARY INFORMATION.

HORIZONTAL DATUM:

N.A.D.83 (2011) (EPOCH 2010.00) OREGON STATE PLANE, NORTH ZONE, GRID BEARING.

VERTICAL DATUM:

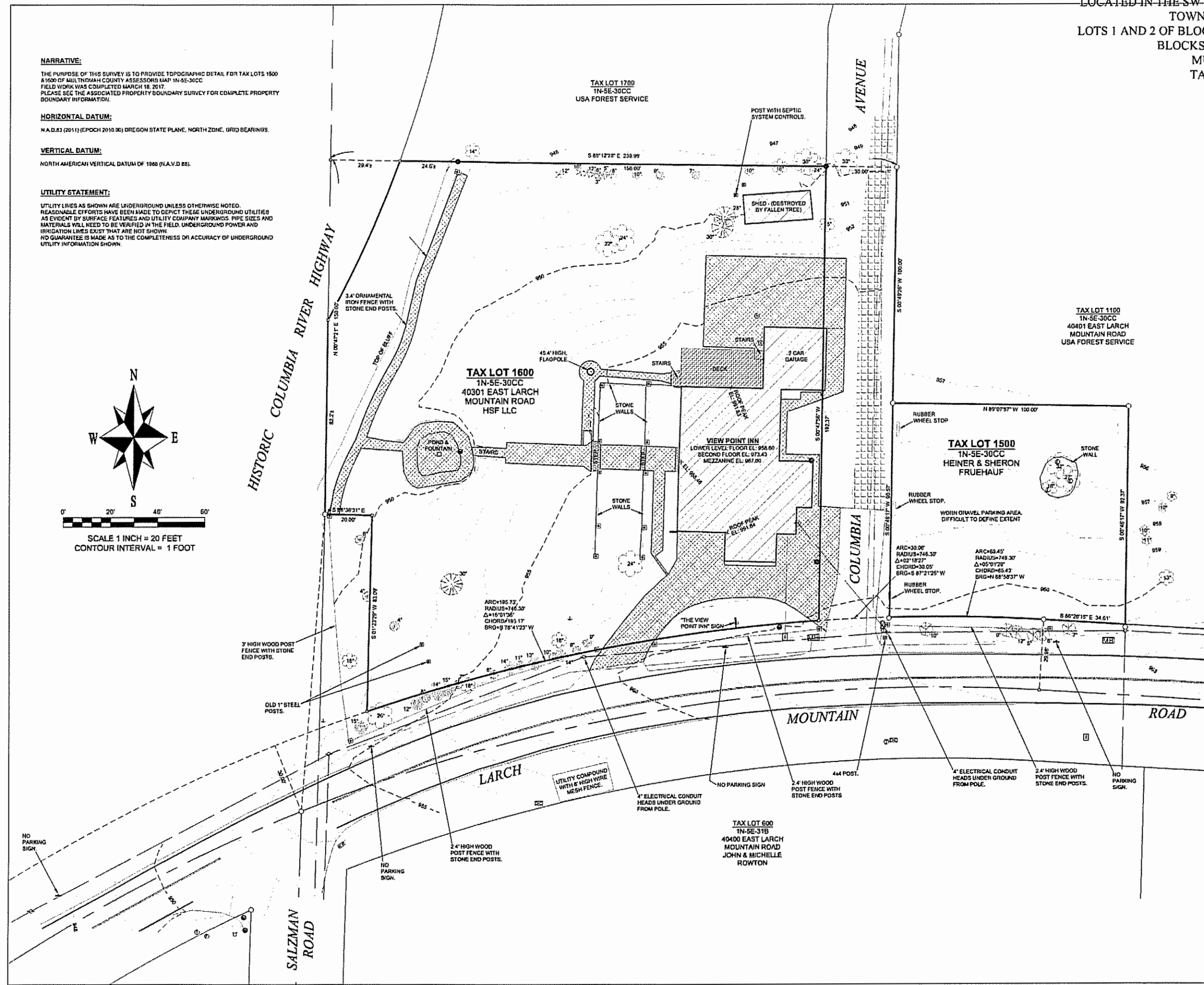
NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88).

UTILITY STATEMENT:

UTILITY LINES AS SHOWN ARE UNDERGROUND UNLESS OTHERWISE NOTED. REASONABLE EFFORTS HAVE BEEN MADE TO DEPICT THESE UNDERGROUND UTILITIES AS EVIDENT BY SURFACE FEATURES AND UTILITY COMPANY MARKINGS. PIPE SIZES AND MATERIALS WILL NEED TO BE VERIFIED IN THE FIELD. UNDERGROUND POWER AND IRRIGATION LINES EXIST THAT ARE NOT SHOWN. NO GUARANTEE IS MADE AS TO THE COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITY INFORMATION SHOWN.



SCALE 1 INCH = 20 FEET
 CONTOUR INTERVAL = 1 FOOT



SYMBOL LEGEND:

| | |
|--|--|
| | SURVEY CONTROL POINT |
| | FOUND MONUMENT OF RECORD (SEE BOUNDARY SURVEY) |
| | NEW MONUMENT SET (SEE BOUNDARY SURVEY) |
| | UTILITY POLE |
| | CLEANOUT |
| | ELECTRICAL METER |
| | ELECTRICAL OUTLET |
| | HYDRANT |
| | SIGN |
| | WATER METER |
| | WATER VALVE |
| | GAS VALVE |
| | STEEL WIRE ANCHOR |
| | STORM CATCH BASIN |
| | FIBER |
| | UTILITY VAULT |
| | TELEPHONE PEDESTAL |
| | MAIL BOX |
| | FLOOR DRAIN |
| | FLAGPOLE |
| | POST |
| | FENCE |
| | OVERHEAD POWER |
| | UNDERGROUND WATER |
| | UNDERGROUND COMMUNICATIONS |
| | TREE OF UNKNOWN SPECIES WITH TRUNK DIAMETER |
| | FIR TREE WITH TRUNK DIAMETER |
| | PINE TREE WITH TRUNK DIAMETER |
| | FRUIT TREE WITH TRUNK DIAMETER |
| | CEDAR TREE WITH TRUNK DIAMETER |
| | HOLLY TREE WITH TRUNK DIAMETER |
| | GRAVEL |
| | BUILDING |
| | PAVEMENT |
| | CONCRETE |
| | WOOD DECKING |
| | STONE WALKWAY OR RETAINING WALL |

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

OREGON
 JANUARY 15, 2002
 BRADLEY J. CROSS
 60051

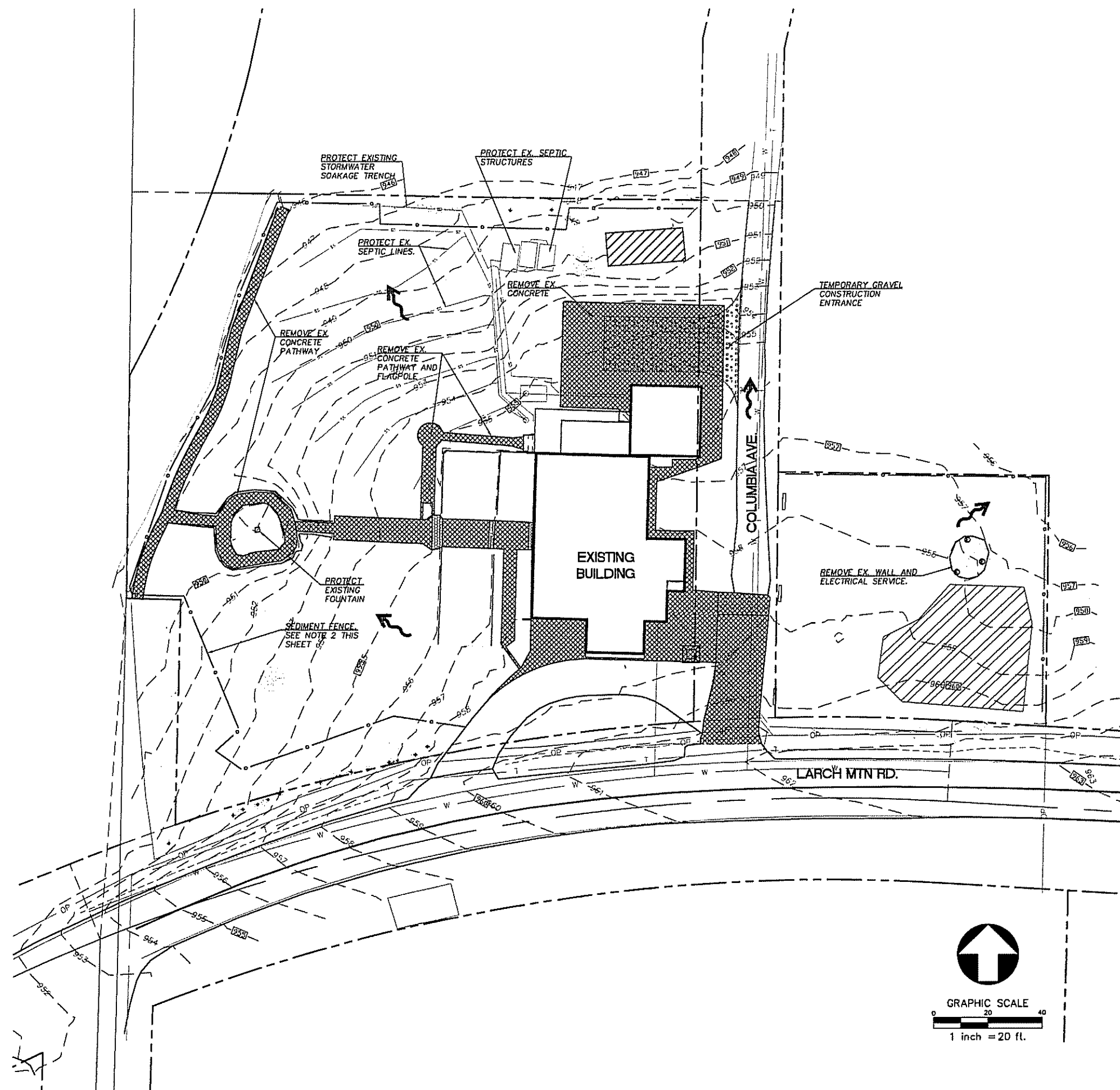
RENEWALS: 12/31/2017

PROJECT NUMBER: 2017002
 DATE OF DRAWING: MARCH 17, 2017

**COLUMBIA RIVER
 SURVEYING
 & MAPPING**

1767 12th St, #181
 HOOD RIVER, OREGON, 97031
 PHONE: 541-388-9002
 EMAIL: INFO@COLUMBIASURVEYING.COM

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DEMO NOTES

1. SEE LANDSCAPE PLANS FOR TREE PROTECTION AND REMOVAL INFORMATION.
2. SEDIMENT FENCE TO BE PLACED ON BUILDING SIDE OF TREE PROTECTION FENCING.

DEMO LEGEND

| | | |
|--|--|-----------|
| | TEMPORARY GRAVEL CONSTRUCTION ENTRANCE | 3 C4.2 |
| | REMOVE EXISTING STRUCTURE | |
| | REMOVE A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE | |
| | FILTER FABRIC INLET PROTECTION | 2 C4.2 |
| | BIO BAG PROTECTION | 5 C4.2 |
| | DRAINAGE FLOW DIRECTION | |
| | REMOVE EXISTING UTILITY OR STRUCTURE | |
| | SEDIMENT FENCE | 3 C4.2 |
| | STOCKPILE AREA WITH PLASTIC SHEETING | 4 C4.2 |

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Humber Design Group, Inc.
Portland, OR • 503.946.6490 • hdesign@hgroup.com

REV. #: DATE: DESCRIPTION

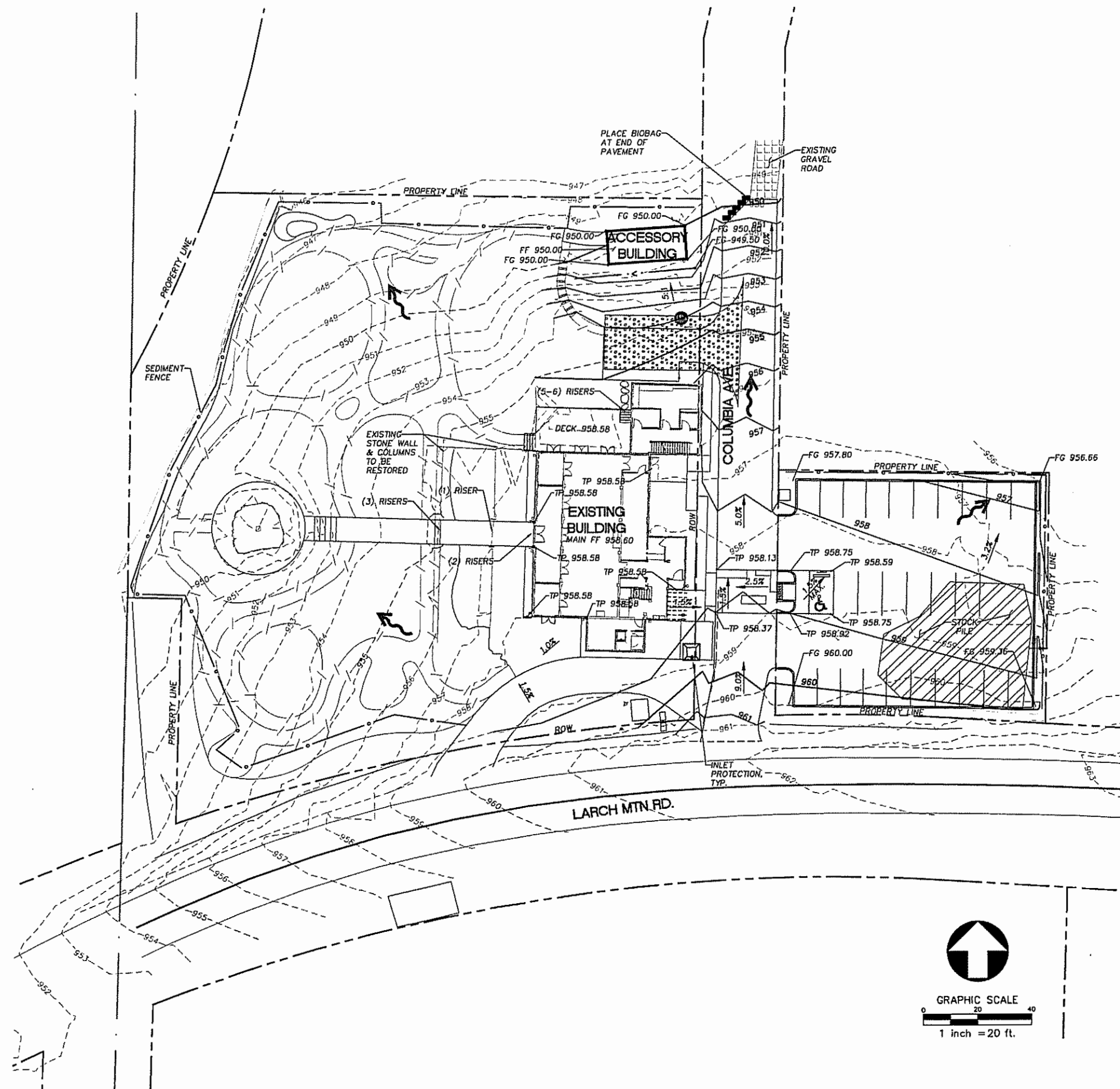
HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

DEMO AND EROSION CONTROL PLAN

PROJECT NO: 1723
DRAWN BY: FLW CHKD BY: MSW
DATE: 05.24.19

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LAND USE SUBMITTAL

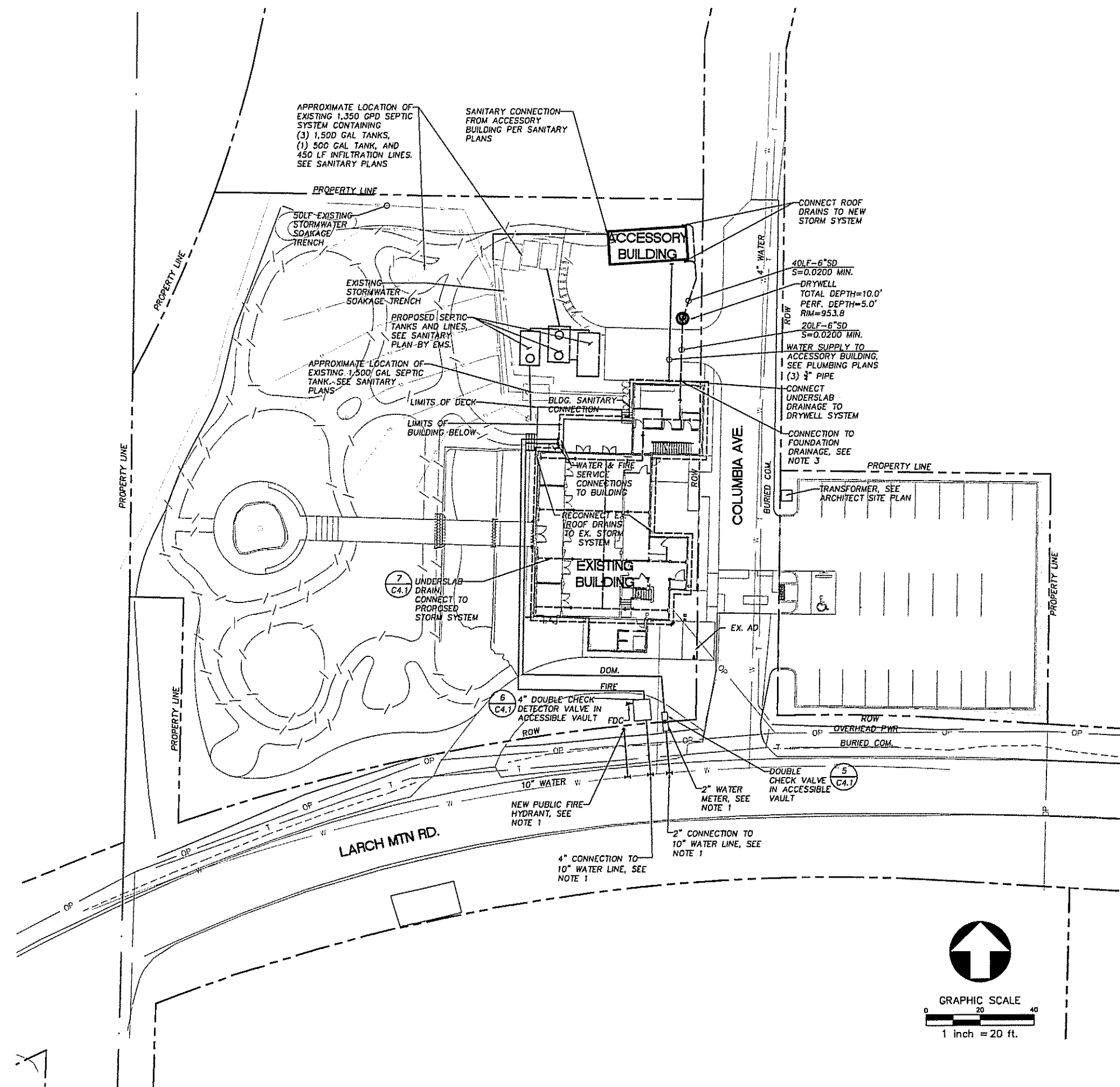


GRADING NOTES

1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND PROTECTION.
2. MAJORITY OF CUT DUE TO CLEARING AND GRUBBING FOR NEW VEHICULAR AND PEDESTRIAN PATHWAYS. MAJORITY OF FILL IS PARKING AND DRIVE GRAVEL SURFACING.
3. EARTHWORK (EXISTING GRADE TO FINISHED GRADE)
299 CY FILL
334 CY CUT
35 CY NET CUT
4. EXPOSED SOIL SURFACE SHALL BE SEEDED AND MULCHED OR GRAVELED AS QUICKLY AS POSSIBLE AFTER DISTURBANCE TO PREVENT EROSION PER PLAN. SEE LANDSCAPE PLANS FOR PLANTINGS.
5. EXCESS SPOIL MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES AND MAINTAINED IN WORKING ORDER THROUGH THE DURATION OF CONSTRUCTION.

GRADING LEGEND

| | | |
|-----------|--|-----------|
| | STOCKPILE AREA WITH PLASTIC SHEETING | 4 C4.2 |
| | TEMPORARY GRAVEL CONSTRUCTION ENTRANCE | 3 C4.2 |
| TC XXX.XX | GRADE AT TOP OF CURB | |
| TP XXX.XX | GRADE AT TOP OF PAVEMENT | |
| FG XX.XX | FINISHED GRADE | |
| EG XX.XX | EXISTING GRADE | |
| | ADA ACCESS SEE ENLARGED PLANS | |
| | SLOPE ARROW | |
| | GRADE BREAK | |
| | EXISTING CONTOUR | 1 C4.2 |
| | PROPOSED CONTOUR | |
| | SEDIMENT FENCE | |
| | FLOW LINE | |
| | DRAINAGE FLOW DIRECTION | 2 C4.2 |
| | FILTER FABRIC INLET PROTECTION | 5 C4.2 |
| | BIO BAG PROTECTION | |



UTILITY NOTES

1. ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY CORBETT WATER DISTRICT AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CORBETT WATER DISTRICT MANAGER, JEFF BUSTO (503)695-2284.
2. EXISTING SEPTIC SYSTEM VAULTS AND PIPING HAVE NOT BEEN SURVEYED. CONTRACTOR SHALL LOCATE EXISTING SEPTIC FACILITIES PRIOR TO CONSTRUCTION TO VERIFY LOCATION. SEE SANITARY PLANS FOR PROPOSED SEPTIC SYSTEM IMPROVEMENTS.
3. INSTALL 4" PERFORATED FOUNDATION DRAIN AROUND PERIMETER OF BUILDING AT FOUNDATION WALL PER DETAIL 6, SHEET C4.1. CONNECT PERFORATED PIPE TO SOLID PIPE WITH CLEANCHECK BACKFLOW PREVENTOR.
4. CAP AND ABANDON EXISTING WATER SERVICE AT MAIN.
5. RECONNECT EXISTING ROOF DRAINS TO EXISTING ROOF DRAINAGE SYSTEM.
6. ALL JOINTS SHALL BE MECHANICALLY RESTRAINED FOR ON-SITE PRESSURE PIPING.












UTILITY LEGEND

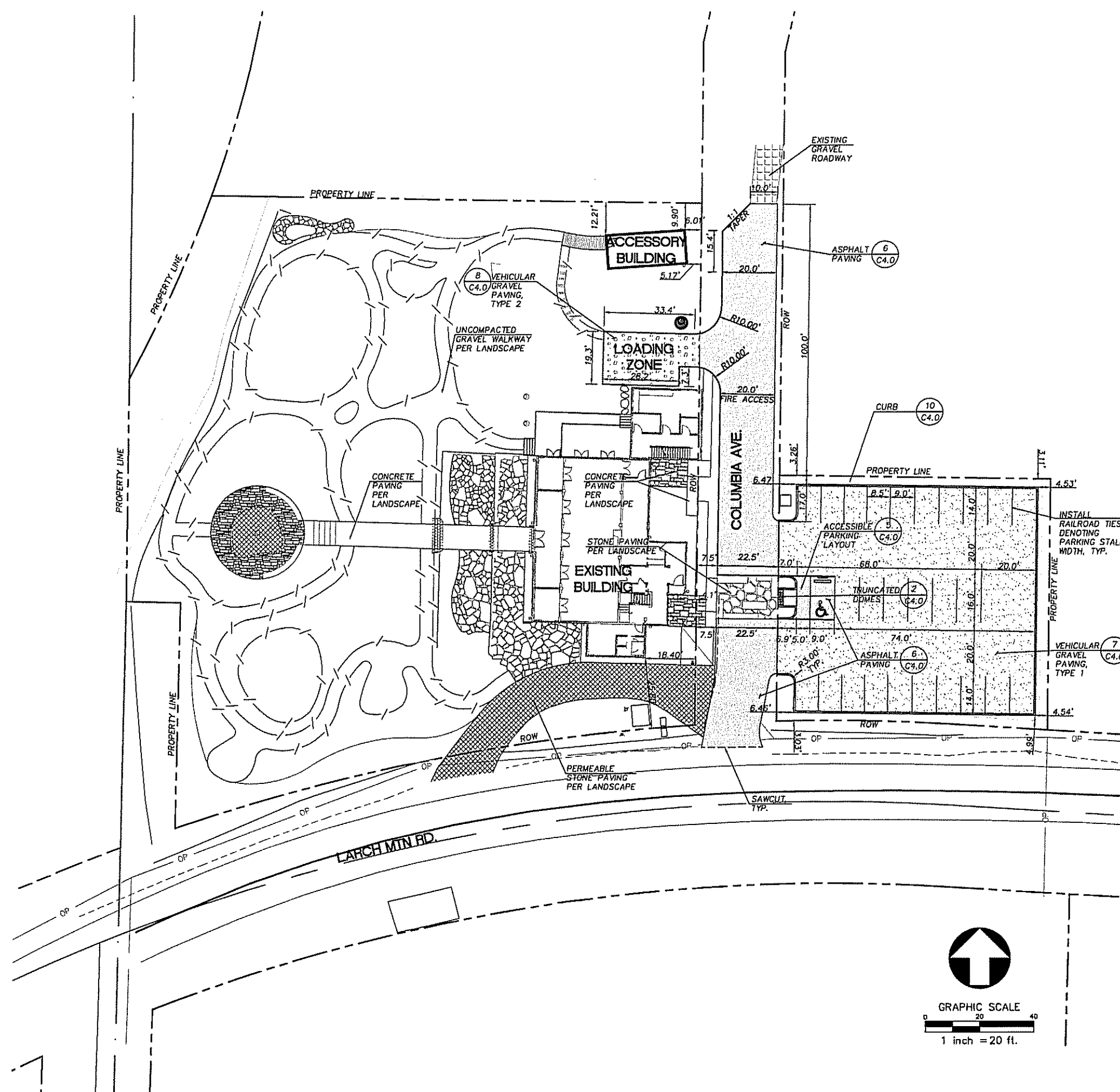
| | | |
|-----|----------------------------------|-----------|
| ▲ | CLEANOUT | 3 C4.1 |
| ◆ | FIRE DEPARTMENT CONNECTION (FDC) | |
| ▲ | FIRE HYDRANT | |
| □ | WATER VAULT | 1 C4.1 |
| ⊙ | DRYWELL | |
| ○ ○ | SEPTIC TANK (SEE PLANS BY EMS) | |

SITE NOTES

1. SEE L1.01, MATERIALS PLAN FOR ADDITIONAL INFORMATION.

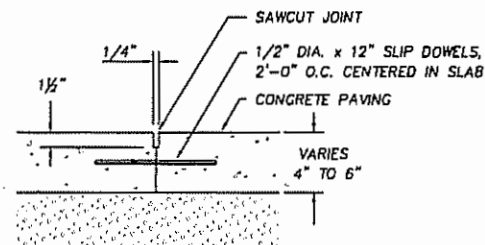
PAVING LEGEND

| | | |
|---|---------------------------------|---|
|  | ASPHALT PAVEMENT |  |
|  | VEHICULAR GRAVEL PAVING, TYPE 1 |  |
|  | VEHICULAR GRAVEL PAVING, TYPE 2 |  |
|  | CURB |  |
|  | WHEEL STOP |  |
|  | EDGE OF PAVING | |



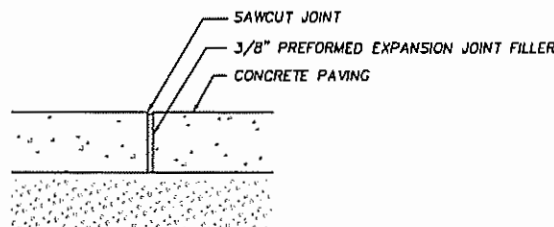
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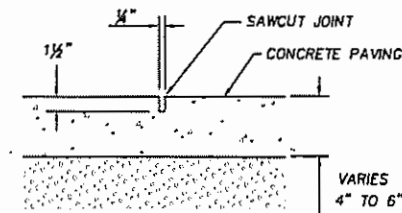
NOTE:
INSTALL CONSTRUCTION JOINTS 2'-0" O.C. WHERE EXISTING CONC. PAVING ABUTS PROPOSED CONC. PAVING.

14 CONSTRUCTION JOINT



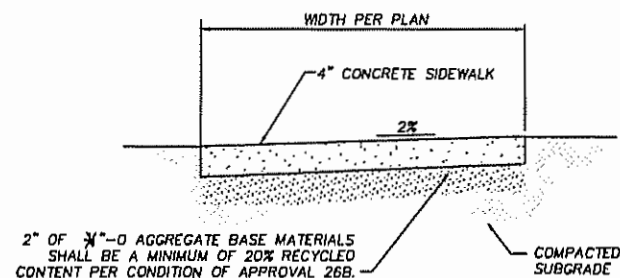
NOTE:
PLACE EXPANSION JOINTS AT MAXIMUM 20.0' ON CENTER.

13 EXPANSION JOINT



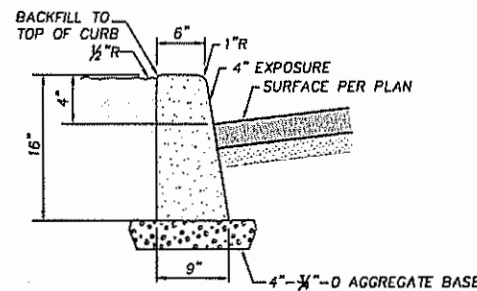
NOTE:
PLACE SCORE JOINTS AT MAXIMUM 15.0' ON CENTER.

12 SCORE JOINT

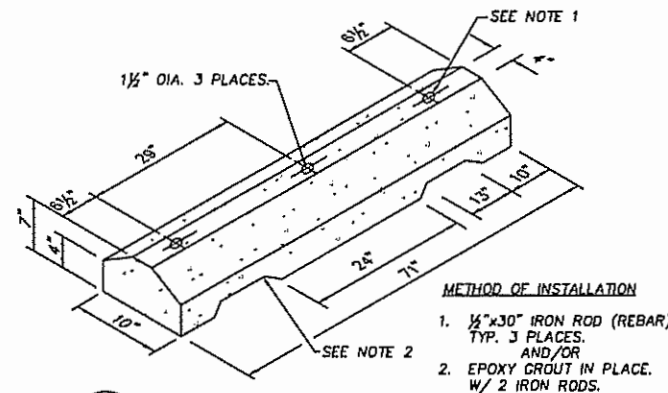


NOTE:
1. CONCRETE SHALL BE 3000 PSI, SLUMP RANGE 3\"/>

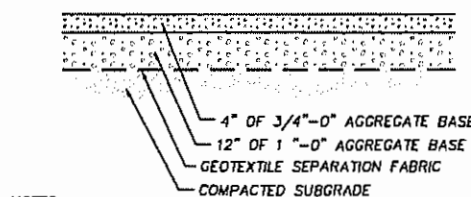
11 CONCRETE SIDEWALK



10 STANDARD CONCRETE CURB

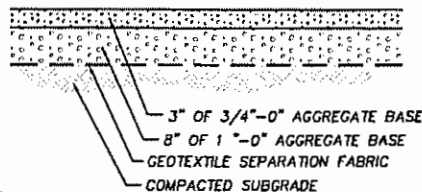


9 WHEEL STOP



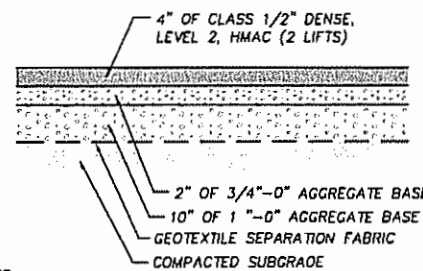
NOTES:
1. AGGREGATE BASE AND THE UPPER 12\"/>

8 VEHICULAR GRAVEL PAVING TYPE 2



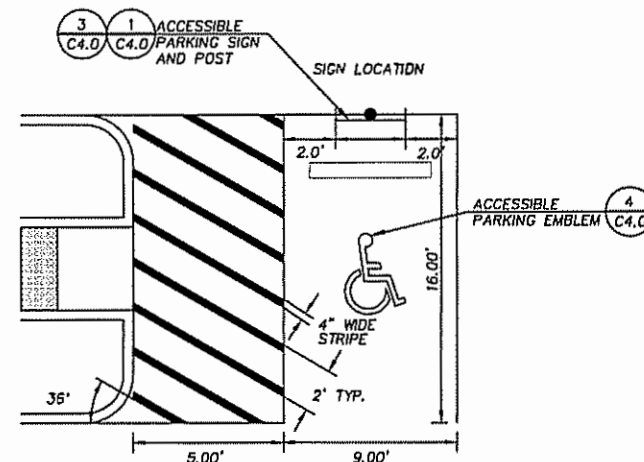
NOTES:
1. AGGREGATE BASE AND THE UPPER 12\"/>

7 VEHICULAR GRAVEL PAVING TYPE 1

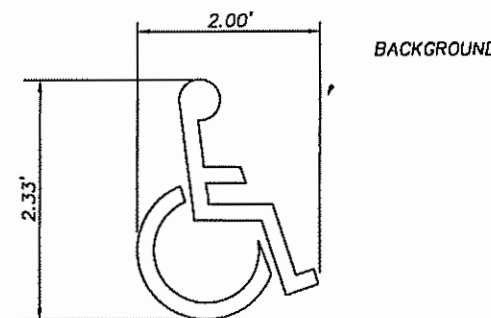


NOTES:
1. AGGREGATE BASE AND THE UPPER 12\"/>

6 TYPICAL PAVEMENT SECTION

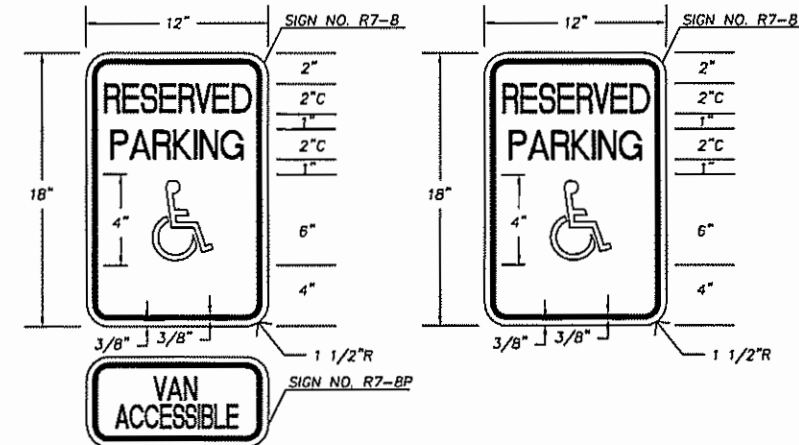


5 ACCESSIBLE PARKING LAYOUT



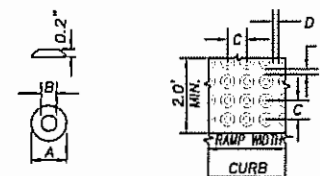
NOTES:
1. PAVEMENT MARKING BACKGROUND: OPTIONAL: BLUE, RETROREFLECTIVE
2. PAVEMENT MARKING STENCIL: WHITE, RETROREFLECTIVE

4 ACCESSIBLE PARKING EMBLEM



3 ACCESSIBLE PARKING SIGN

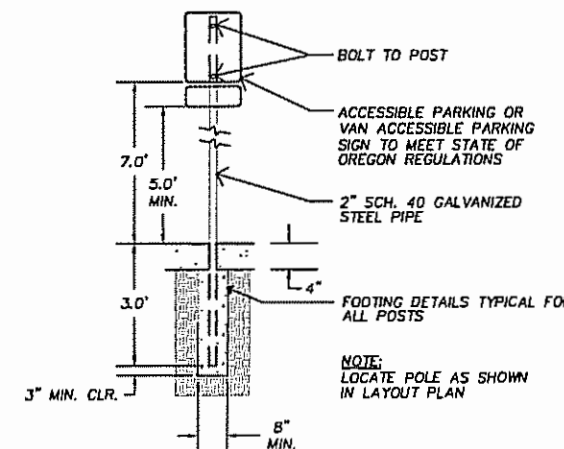
NOTES:
1. SIGN BACKGROUND: WHITE, RETROREFLECTIVE SHEETING
2. SIGN LEGEND: GREEN, RETROREFLECTIVE SHEETING
3. SIGN SYMBOL (STANDARD ONLY): WHITE ON BLUE, RETROREFLECTIVE SHEETING



DIMENSIONS
A = 0.9 INCHES (MIN.) TO 1.4 INCHES (MAX.).
B = 50% OF 'A' (MIN.) TO 65% OF 'A' (MAX.).
C = 1.6 INCHES O.C. (MIN.) TO 2.4 INCHES O.C. (MAX.).
D = 0.65 INCHES (MIN.).

NOTES:
1. ARRANGE DOMES USING IN-LINE-PATTERN ONLY AS SHOWN IN DETAIL.
2. THE TRUNCATED DOME RAMP TEXTURE SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.
3. THE TEXTURE SURFACE SHALL EXTEND 2.0' MIN. IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.
4. THE TEXTURE SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE CURB LINE.

2 TRUNCATED DOME TEXTURE



1 ACCESSIBLE SIGN POST

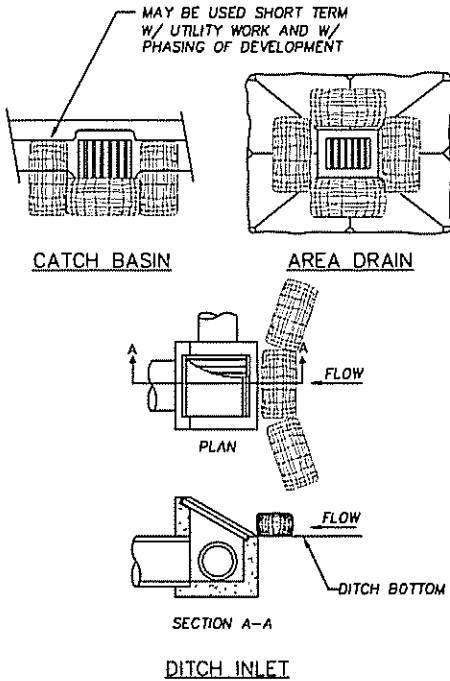
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EROSION CONTROL NOTES

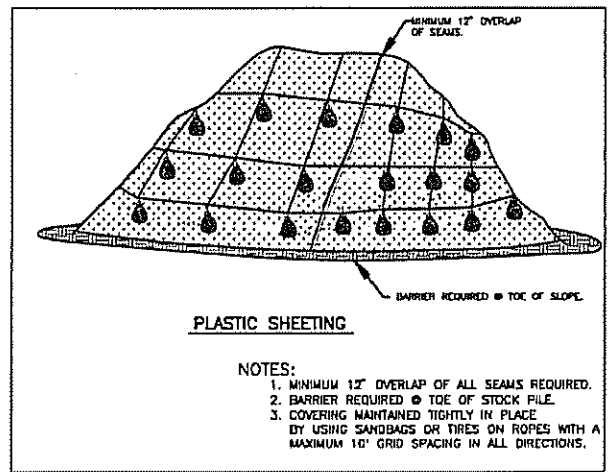
1. APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
2. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
3. THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
4. THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
5. THE ESPCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
8. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
9. ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
11. IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
12. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
13. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
14. CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
15. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND 2008 EROSION AND SEDIMENT CONTROL MANUAL.
16. SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
17. SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
18. WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
19. IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
20. STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
21. SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
22. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

SEDIMENT FENCE NOTES

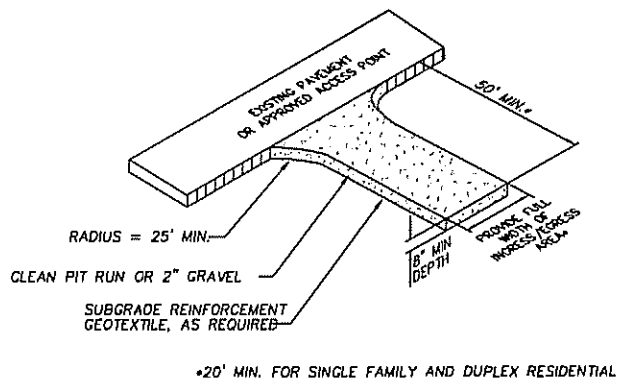
1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
3. A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
4. STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POST. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACED A MAXIMUM OF 6 FEET APART.
5. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
6. SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.
7. AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED.



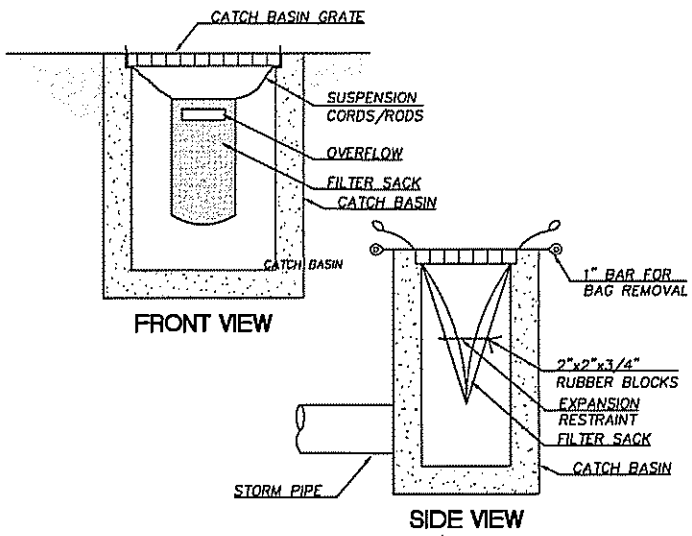
5 TEMPORARY BIOFILTER BAGS
NTS



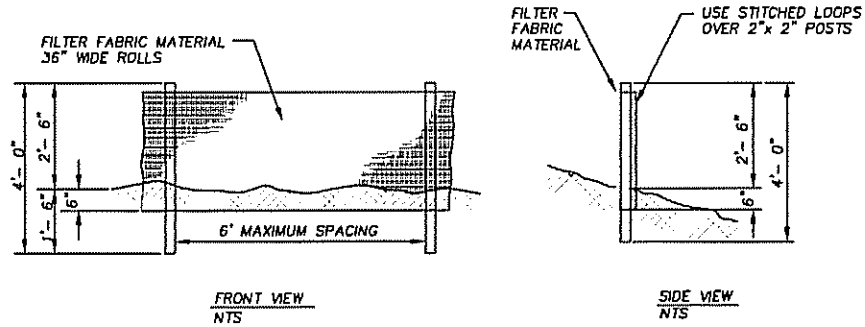
4 PLASTIC SHEETING
NTS



3 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
NTS



2 FILTER FABRIC INLET PROTECTION
NTS



1 SEDIMENT FENCE
NTS

LAND USE SUBMITAL

HSF, LLC
VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

EROSION CONTROL
NOTES AND DETAILS

PROJECT NO: 1723
DRWN BY: PLM CHK'D BY: MSW
DATE: 05.24.19

C4.2







NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

TREE INVENTORY TABLE

| # | TREE SPECIES (Botanical Name - Common Name) | SIZE | STATUS |
|----|--|--------------|---------------|
| 1 | Ilex aquifolium - English Holly | 12" DIAMETER | TO REMAIN |
| 2 | Ilex aquifolium - English Holly | 10" DIAMETER | TO REMAIN |
| 3 | Ilex aquifolium - English Holly | 12" DIAMETER | TO REMAIN |
| 4 | Ilex aquifolium - English Holly | 6" DIAMETER | TO REMAIN |
| 5 | Ilex aquifolium - English Holly | 3" DIAMETER | TO REMAIN |
| 6 | Ilex aquifolium - English Holly | 5" DIAMETER | TO REMAIN |
| 7 | Ilex aquifolium - English Holly | 8" DIAMETER | TO REMAIN |
| 8 | Alnus rubra - Red Alder | 10" DIAMETER | TO REMAIN |
| 9 | Pinus nigra - Black Pine | 9" DIAMETER | TO REMAIN |
| 10 | Pinus nigra - Black Pine | 7" DIAMETER | TO REMAIN |
| 11 | Acer platanoides - Norway Maple | 10" DIAMETER | TO REMAIN |
| 12 | Acer platanoides - Norway Maple | 18" DIAMETER | TO REMAIN |
| 13 | Acer platanoides - Norway Maple | 24" DIAMETER | TO REMAIN |
| 14 | Pseudotsuga menziesii - Douglas Fir | 28" DIAMETER | TO REMAIN |
| 15 | Pseudotsuga menziesii - Douglas Fir | 30" DIAMETER | TO REMAIN |
| 16 | Alnus rubra - Red Alder | 24" DIAMETER | TO BE REMOVED |
| 17 | Alnus rubra - Red Alder | 22" DIAMETER | TO BE REMOVED |

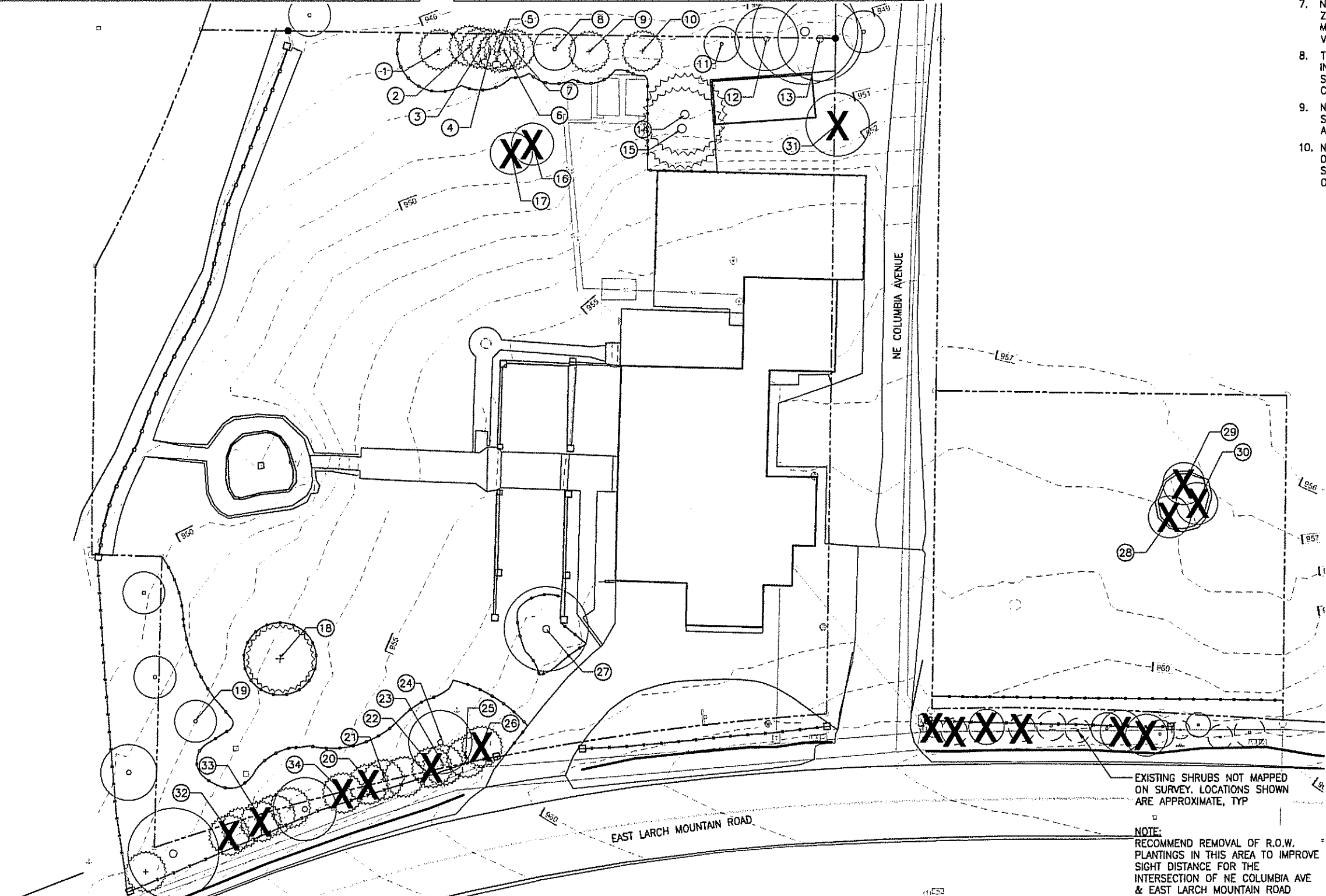
| # | TREE SPECIES (Botanical Name - Camman Name) | SIZE | STATUS |
|----|--|--------------|---------------|
| 18 | Pseudotsuga menziesii - Douglas Fir | 30" DIAMETER | TO REMAIN |
| 19 | Prunus sargentii - Sargent Cherry | 4" DIAMETER | TO REMAIN |
| 20 | Pinus nigra - Black Pine | 8" DIAMETER | TO BE REMOVED |
| 21 | Pinus nigra - Black Pine | 14" DIAMETER | TO REMAIN |
| 22 | Pinus nigra - Black Pine | 10" DIAMETER | TO BE REMOVED |
| 23 | Pinus nigra - Black Pine | 14" DIAMETER | TO REMAIN |
| 24 | Crataegus laevigata - English Hawthorne | 18" DIAMETER | TO REMAIN |
| 25 | Pinus nigra - Black Pine | 8" DIAMETER | TO REMAIN |
| 26 | Pinus nigra - Black Pine | 9" DIAMETER | TO BE REMOVED |
| 27 | Prunus sargentii - Sargent Cherry | 24" DIAMETER | TO REMAIN |
| 28 | Acer platanoides - Norway Maple | 18" DIAMETER | TO BE REMOVED |
| 29 | Acer platanoides - Norway Maple | 32" DIAMETER | TO BE REMOVED |
| 30 | Acer platanoides - Norway Maple | 27" DIAMETER | TO BE REMOVED |
| 31 | Acer platanoides - Norway Maple | 15" DIAMETER | TO BE REMOVED |
| 32 | Pinus nigra - Black Pine | 8" DIAMETER | TO BE REMOVED |
| 33 | Pinus nigra - Black Pine | 9" DIAMETER | TO BE REMOVED |
| 34 | Pinus nigra - Black Pine | 9" DIAMETER | TO BE REMOVED |

TREE REMOVAL LEGEND

- 
 EXISTING DECIDUOUS TREE
- 
 EXISTING DECIDUOUS TREE, TO BE REMOVED
- 
 EXISTING EVERGREEN TREE
- 
 EXISTING EVERGREEN TREE, TO BE REMOVED
- 
 EXISTING SHRUB, TO REMAIN
- 
 TREE PROTECTION FENCING

TREE REMOVAL NOTES

- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
- TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
- EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
- TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNOBTURBED GRADE.
- APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
- NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
- THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
- NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
- NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.



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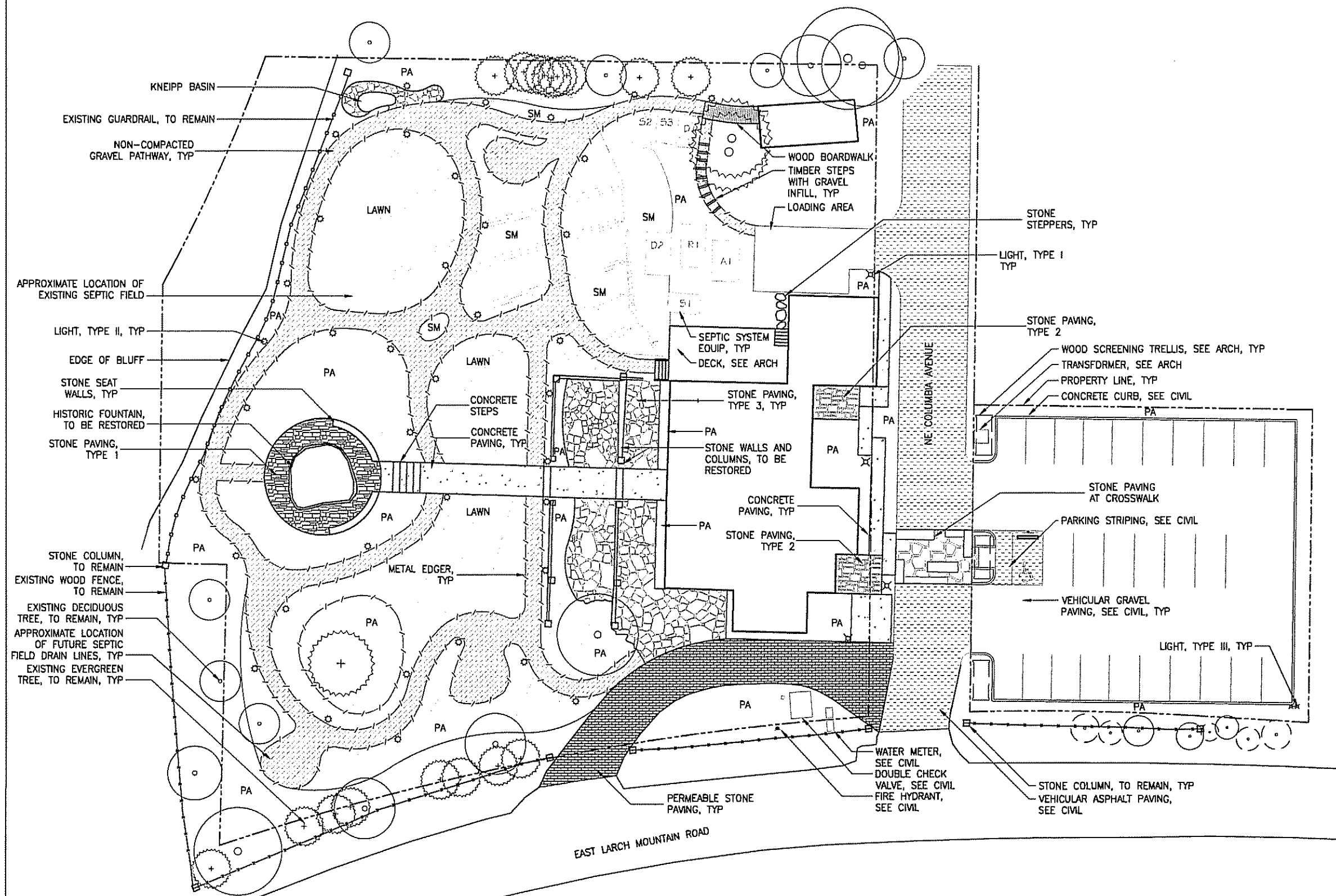
HSF, LLC
 VIEW POINT INN &
 WELLNESS CENTER
 40301 E Larch Mountain Rd,
 Corbett, OR 97019

TREE REMOVAL AND
 PROTECTION PLAN

PROJECT NO: 1723
 DRWN BY: BEO/CHKD BY: KL
 DATE: 05/24/2019

L0.01

LAND USE SUBMITTAL



1 MATERIALS PLAN

LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- BUILDING OVERHANG
- PEDESTRIAN CONCRETE PAVING
- VEHICULAR ASPHALT PAVING, SEE CIVIL
- STONE PAVING - TYPE 1
- STONE PAVING - TYPE 2
- STONE PAVING - TYPE 3
- NON-COMPACTED GRAVEL PATHWAY
- VEHICULAR GRAVEL PAVING
- PERMEABLE STONE PAVING
- LIGHT, TYPE I
- LIGHT, TYPE II
- LIGHT, TYPE III
- STONE STEPPERS
- METAL EDGER
- EXISTING GUARDRAIL
- EXISTING WOOD FENCE
- CONCRETE CURB
- CONCRETE WHEELSTOP
- EXISTING EVERGREEN TREE, TO REMAIN
- EXISTING DECIDUOUS TREE, TO REMAIN
- EXISTING SHRUB, TO REMAIN

ABBREVIATIONS

| | |
|-------|-----------------|
| ARCH | ARCHITECTURAL |
| CONC | CONCRETE |
| DWG | DRAWINGS |
| ELEC | ELECTRICAL |
| MECH | MECHANICAL |
| NIC | NOT IN CONTRACT |
| PA | PLANTING AREA |
| SIM | SIMILAR |
| SM | SEED MEADOW |
| SPECS | SPECIFICATIONS |
| STRUC | STRUCTURAL |
| TYP | TYPICAL |
| W/ | WITH |

MATERIALS NOTES

- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION FOR FENCING AND OTHER REQUIREMENTS.
- SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.
- SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

Plan
1"=16'-0"



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WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

MATERIALS PLAN

LAND USE SUBMITAL

PROJECT NO: 1723
DRWN BY: BEO/CHK'D BY: KL
DATE: 03/24/2019

L1.01

LEGEND

- BUILDING OVERHANG
- PROPERTY LINE/RIGHT-OF-WAY
- STONE STEPPERS
- METAL EDGER
- EXISTING GUARDRAIL
- WOOD FENCE
- CONCRETE CURB
- EXISTING EVERGREEN TREE, TO REMAIN
- EXISTING DECIDUOUS TREE, TO REMAIN
- EXISTING SHRUB, TO REMAIN

PLANT SCHEDULE

| SYMBOL | ABBR | BOTANICAL NAME | COMMON NAME | SIZE/CONDITION | SPACING |
|--------|------|------------------------|----------------|----------------|----------|
| TREES | | | | | |
| | AP | Acer palmatum | Japanese Maple | 3" CAL., B&B | as shown |
| | CK | Cornus kousa | Kousa Dogwood | 3" CAL., B&B | as shown |
| | MR | Morus rubra | Mulberry Tree | 3" CAL., B&B | as shown |
| | PM | Pinus mugo subsp. mugo | Mugo Pine | 4' HT., B&B | as shown |
| | PS | Pinus sylvestris | Scots Pine | 7' HT., B&B | as shown |

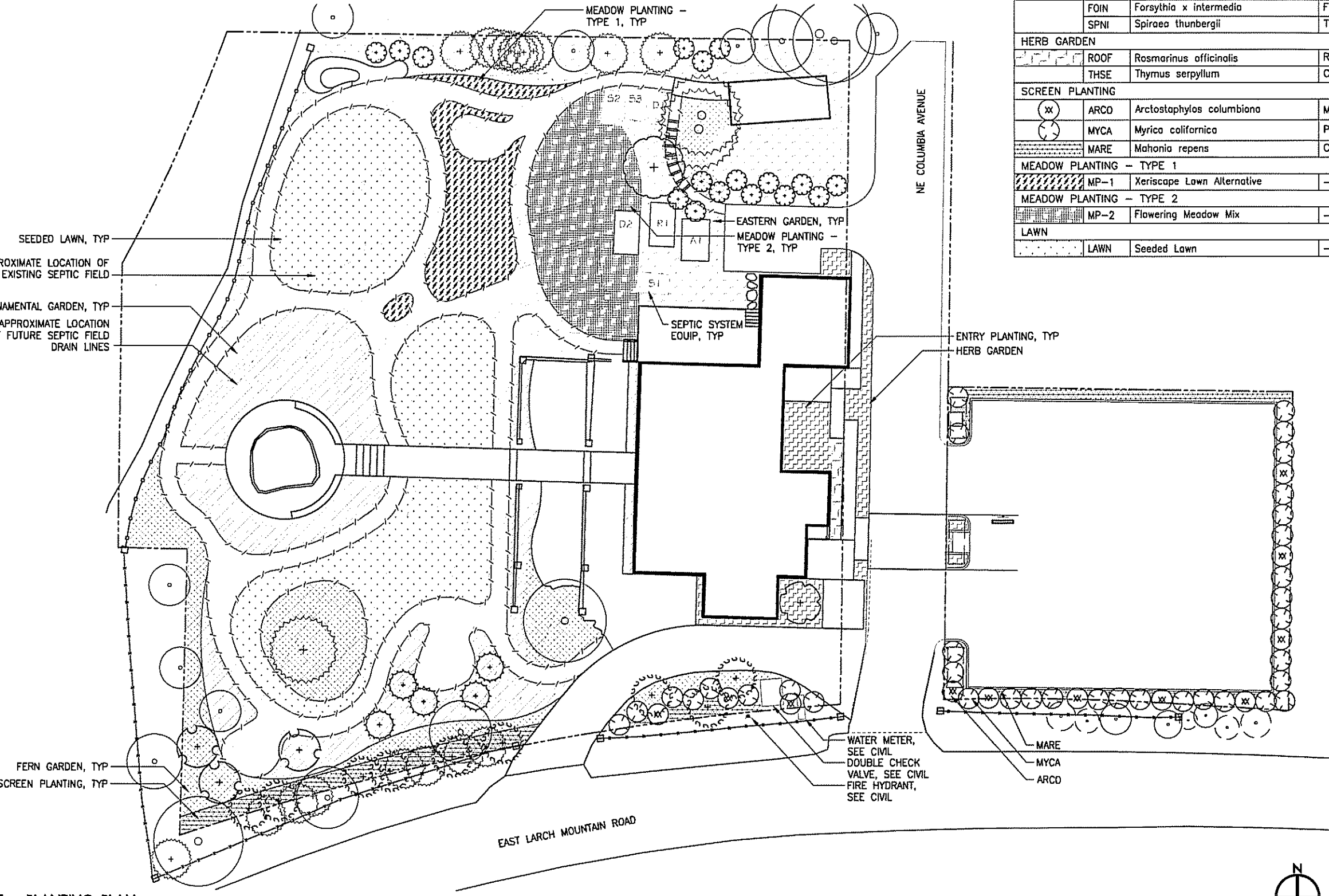
| | | | | | |
|--------------------------|----------------------------------|-----------------------|----------|----------|--|
| FERN GARDEN | | | | | |
| AFTI | Athyrium filix-femina | Lady Fern | #5/CONT | 3' O.C. | |
| MARE | Mahonia repens | Creeping Mahonia | #1/CONT | 18" O.C. | |
| OSCI | Osmundastrum cinnamomeum | Cinnamon Fern | #5/CONT | 2' O.C. | |
| PATE | Pachysandra terminalis | Japanese Spurge | SP#4 | 12" O.C. | |
| POMU | Polystichum munitum | Sword Fern | #5/CONT | 3' O.C. | |
| ORNAMENTAL GARDEN | | | | | |
| BUMI | Buxus microphylla var. japonica | Japanese Boxwood | #3/CONT | 2' O.C. | |
| CASA | Camellia sasanqua 'Marge Miller' | Camellia | #1/CONT | 18" O.C. | |
| LIMU | Liriope muscari | Lilyturf | #1/CONT | 18" O.C. | |
| HAMA | Hakonechloa macro 'Aureola' | Japanese Forest Grass | #3/CONT | 18" O.C. | |
| EASTERN GARDEN | | | | | |
| FR | Fargesia rufa 'Green Panda' | Fargesia | #10/CONT | as shown | |
| DAOD | Daphne odora | Daphne | #1/CONT | 3' O.C. | |
| NADO | Nandina domestica 'Compacta' | Heavenly Bamboo | #5/CONT | 3' O.C. | |
| OPJA | Ophiopogon japonicus | Mondo Grass | #1/CONT | 12" O.C. | |
| PIJA | Pieris japonica | Pieris | #5/CONT | 5' O.C. | |
| TRJA | Trachelospermum jasminoides | Star Jasmine | #1/CONT | 12" O.C. | |
| ENTRY PLANTING | | | | | |
| EDCH | Edgeworthia chrysantha | Edgeworthia | #5/CONT | 3' O.C. | |
| FOIN | Forsythia x intermedia | Forsythia | #5/CONT | 5' O.C. | |
| SPNI | Spiraea thunbergii | Thunberg Spirea | #5/CONT | 4' O.C. | |
| HERB GARDEN | | | | | |
| ROOF | Rosmarinus officinalis | Rosemary | #5/CONT | 30" O.C. | |
| THSE | Thymus serpyllum | Creeping Thyme | SP#4 | 12" O.C. | |
| SCREEN PLANTING | | | | | |
| ARCO | Arctostaphylos columbiana | Manzanito | #5/CONT | as shown | |
| MYCA | Myrica californica | Pacific Wax Myrtle | #5/CONT | as shown | |
| MARE | Mahonia repens | Creeping Oregon Grape | #1/CONT | 18" O.C. | |
| MEADOW PLANTING - TYPE 1 | | | | | |
| MP-1 | Xeriscape Lawn Alternative | | SEED | | |
| MEADOW PLANTING - TYPE 2 | | | | | |
| MP-2 | Flowering Meadow Mix | | SEED | | |
| LAWN | | | | | |
| LAWN | Seeded Lawn | | SEED | | |

ABBREVIATIONS

- B&B BALLED & BURLAPPED
- CAL CALIPER
- CONT CONTAINER
- DIA DIAMETER
- DBH DIAMETER AT BREAST HEIGHT
- HT HEIGHT
- O.C. ON CENTER
- SPECS SPECIFICATIONS
- TYP TYPICAL
- # CONTAINER SIZE

PLANTING NOTES

- THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
- ALL PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
- CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
- TREES TO BE RETAINED AND/OR PLANTED SHALL BE WATERED AS NECESSARY TO MINIMIZE STRESS TO THE TREE, PROMOTE ROOT GROWTH, AND ENSURE SURVIVAL, THROUGHOUT THE CONSTRUCTION PERIOD AND THE FIRST THREE GROWING SEASONS AFTER PLANTING. TREES SHALL BE MULCHED WITH COMPOST MULCH, SEE SPECIFICATIONS. PROTECTIVE BARRIERS SHALL STAY IN PLACE UNTIL PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST. STAKING & FERTILIZING SHALL BE REQUIRED WHERE DEEMED NECESSARY BY PLANNING OFFICIAL.
- ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM EXCEPT AREAS WITHIN THE EXISTING AND PROPOSED SEPTIC DRAINFIELD.



1 PLANTING PLAN

EMERICK ARCHITECTS
321 SOUTH 37TH AVENUE SUITE 200 PORTLAND, OR 97204
P 503.255.9400 W EMERICK-ARCHITECT.COM

lango.hansen

LANDSCAPE ARCHITECT

1100 NW GILMAN #306
PORTLAND, OR 97209

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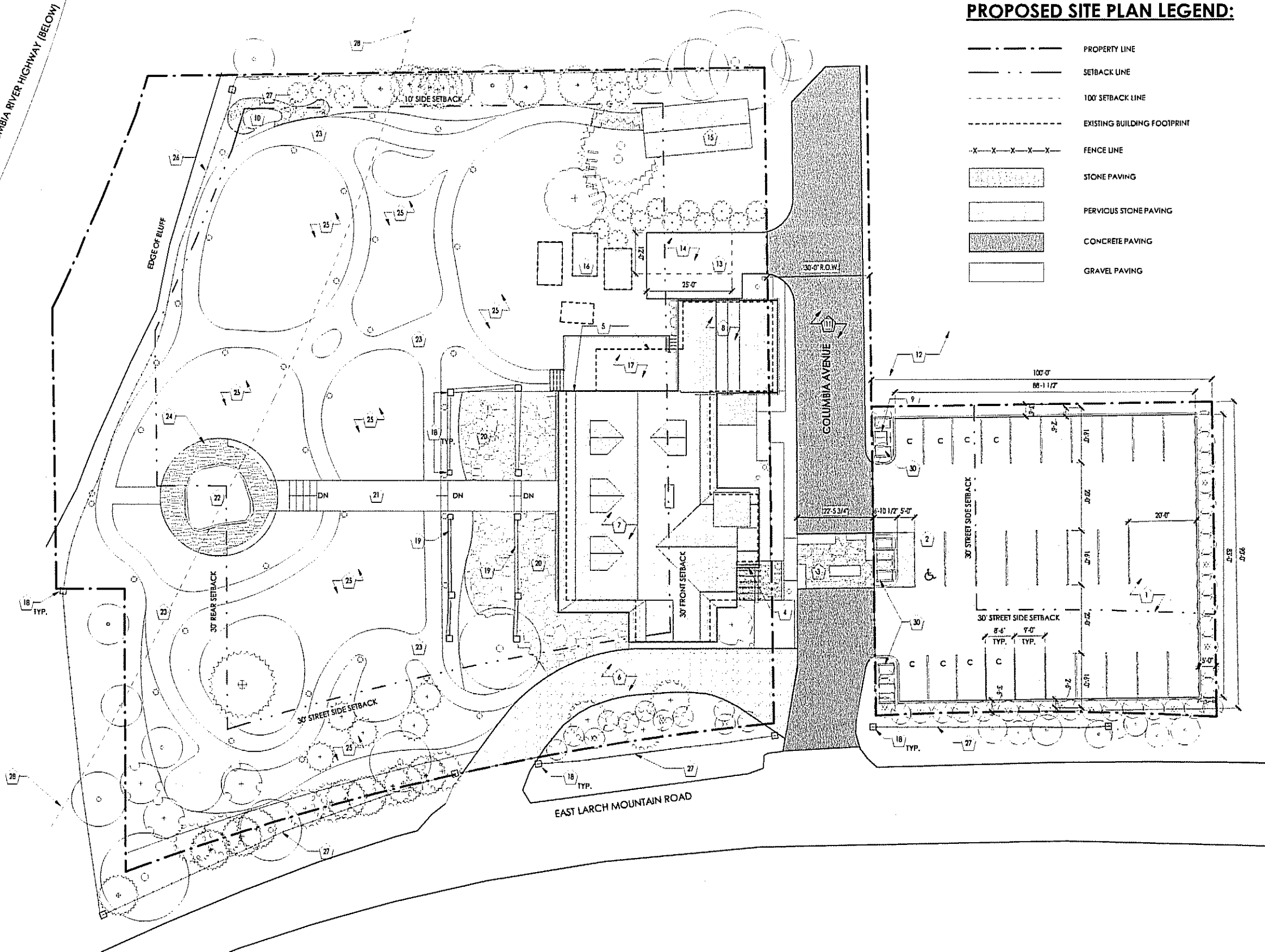
PLANTING PLAN

PROJECT NO: 1723
DRWN BY: BEO/CHK'D BY: KL
DATE: 05/24/2019

L2.01

LAND USE SUBMITTAL

COLUMBIA RIVER HIGHWAY (BELOW)



1 SITE PLAN
SCALE: 1/16" = 1'-0"

GENERAL SITE PLAN NOTES

- COORDINATE ALL SITE WORK WITH CIVIL & LANDSCAPE DRAWINGS
- ALL PARKING LOT MARKINGS TO BE MAINTAINED PER MULTNOMAH COUNTY CODE STANDARDS
- REFER TO EXISTING SITE SURVEY FOR ADDITIONAL PROPERTY INFORMATION
- REFER TO LANDSCAPE PLANS FOR SITE LIGHTING.

PROPOSED SITE PLAN LEGEND:

| | |
|-----------|-----------------------------|
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| --- | 100' SETBACK LINE |
| --- | EXISTING BUILDING FOOTPRINT |
| -X-X-X-X- | FENCE LINE |
| [Pattern] | STONE PAVING |
| [Pattern] | PERVIOUS STONE PAVING |
| [Pattern] | CONCRETE PAVING |
| [Pattern] | GRAVEL PAVING |

PROPOSED SITE PLAN KEYNOTES:

- EXISTING GRAVEL PARKING AREA TO BE REFINISHED, PROVIDE NEW GRAVEL & LAYOUT ACCORDING TO PLANS, PROVIDE 4" THICK CURB AROUND PERIMETER, SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFO
- ACCESSIBLE STALL & AISLE TO BE PROVIDED
- NEW PEDESTRIAN CROSSWALK, SEE LANDSCAPE FOR DESIGN
- MAIN ENTRANCE
- EXISTING BUILDING FOOTPRINT TO REMAIN
- EXISTING HISTORIC DRIVE & AISLE ACCESS TO BE RESURFACED, REMOVE EXISTING PAVEMENT AND PROVIDE NEW PAVEMENT SURFACE PER LANDSCAPE DRAWINGS
- EXISTING HISTORIC BUILDING TO BE REHABILITATED
- EXISTING GARAGE TO BE REMODELED/CONVERTED
- PROPOSED ELECTRICAL TRANSFORMER LOCATION, TO BE SCREENED OR LOCATED BELOW GROUND
- KNEIPP WATER BASIN AREA
- COLUMBIA AVENUE PAVING TO BE UPGRADED AS REQUIRED BY MULTNOMAH COUNTY TRANSPORTATION
- ADJACENT VACANT LOT-NOT IN CONTRACT
- NEW GRAVEL DRIVEWAY & LOADING AREA TO REPLACE EXISTING CONCRETE DRIVEWAY PAVING
- 12' X 25' LOADING SPACE
- EXISTING SINGLE STORY ACCESSORY BUILDING TO BE RE-CONSTRUCTED
- SEPTIC EQUIPMENT BELOW
- EXISTING WOOD DECK TO BE REBUILT
- EXISTING HISTORIC STONE PILLARS TO REMAIN, REFINISH EACH AS REQ'D
- EXISTING HISTORIC LOW STONE WALLS TO REMAIN, REFINISH AS REQ'D
- PERVIOUS PATIO PAVING AREA, SEE LANDSCAPE DRAWINGS
- EXISTING CONCRETE WALKWAY TO BE REFINISHED
- EXISTING FOUNTAIN TO BE RESTORED
- PERVIOUS PATHWAY PAVING, SEE LANDSCAPE DRAWINGS
- STONE SEAT, SEE LANDSCAPE DRAWINGS
- LAWN AND/OR PLANTING AREA, SEE LANDSCAPE DRAWINGS
- EXISTING GUARDRAIL/FENCE TO REMAIN
- EXISTING FENCING TO REMAIN, REPAIR AND/OR REPLACE AS NECESSARY
- LINE OF 100' SETBACK FROM EDGE OF COLUMBIA RIVER HIGHWAY
- WOOD SCREENING TRELLIS

REQUIRED OFF-STREET PARKING PER MCC 38.4205

| | | |
|--|---------------|---------------------|
| OVERNIGHT ACCOMMODATIONS: | 5 GUEST ROOMS | = 5 PARKING SPACES |
| RESTAURANT/DINING ROOM: | 1225sf/100sf | = 12 PARKING SPACES |
| RETREAT FACILITIES (PERSONAL SERVICE): | 3195sf/400sf | = 8 PARKING SPACES |
| RESIDENTIAL APARTMENT: | | = 2 PARKING SPACES |

| | |
|--------------------|---------------------|
| COMBINED REQUIRED: | = 27 PARKING SPACES |
| TOTAL PROVIDED: | = 27 PARKING SPACES |

COMMERCIAL EVENT PARKING

| | |
|-----------------------|---|
| COMMUNITY LECTURES: | 40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) TOTAL LECTURE PARKING REQUIRED = 19 + 8 + 2 = 26 |
| SEASONAL DINNERS: | 40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) TOTAL DINNER PARKING REQUIRED = 19 + 8 + 2 = 26 |
| ANNUAL HOLIDAY PARTY: | 75 GUESTS MAXIMUM - INCLUDING STAFF (75/3)=25 TOTAL HOLIDAY PARTY PARKING REQUIRED: 26 + 2 = 28 |

NOTES REGARDING COMMERCIAL EVENTS:

- TOTAL REQUIRED PARKING FOR COMMUNITY LECTURE + SEASONAL DINNER EVENTS INCLUDES PARKING FOR OVERNIGHT ACCOMMODATIONS.
- THE WELLNESS CENTER/RETREAT FEATURES WILL NOT BE OPEN DURING COMMERCIAL EVENTS
- OVERNIGHT ACCOMMODATIONS WILL NOT BE AVAILABLE DURING ANNUAL HOLIDAY PARTY
- TWO RESIDENTIAL PARKING SPACES WILL REMAIN AVAILABLE DURING ALL EVENTS

EMERICK ARCHITECTS

301 DOWNHILL COURT, SUITE 200, PORTLAND, OR 97204
P: 503.233.8442 W: EMERICKARCHITECTS.COM

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SPACE

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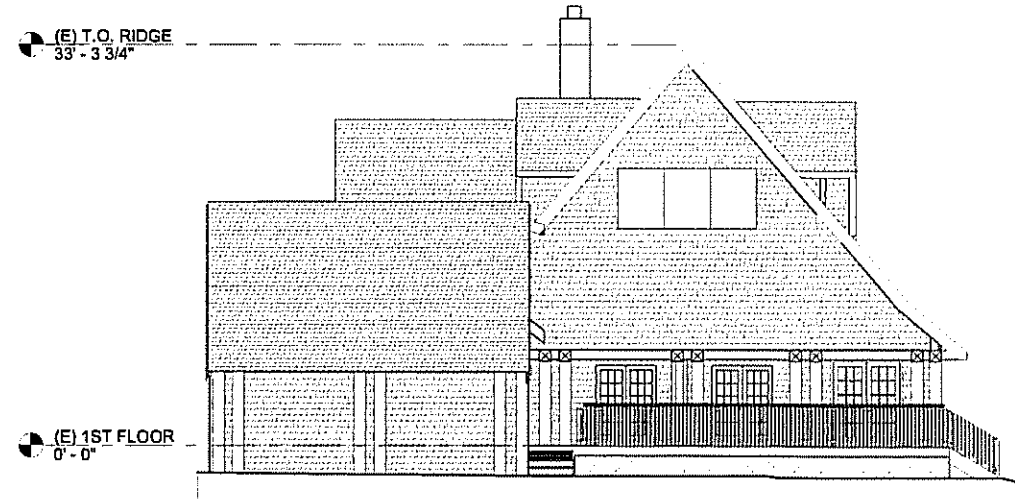
SITE PLAN

PROJECT NO: 1723
DRWN BY: BA | CHK'D BY: KMO
DATE: 05/24/2019

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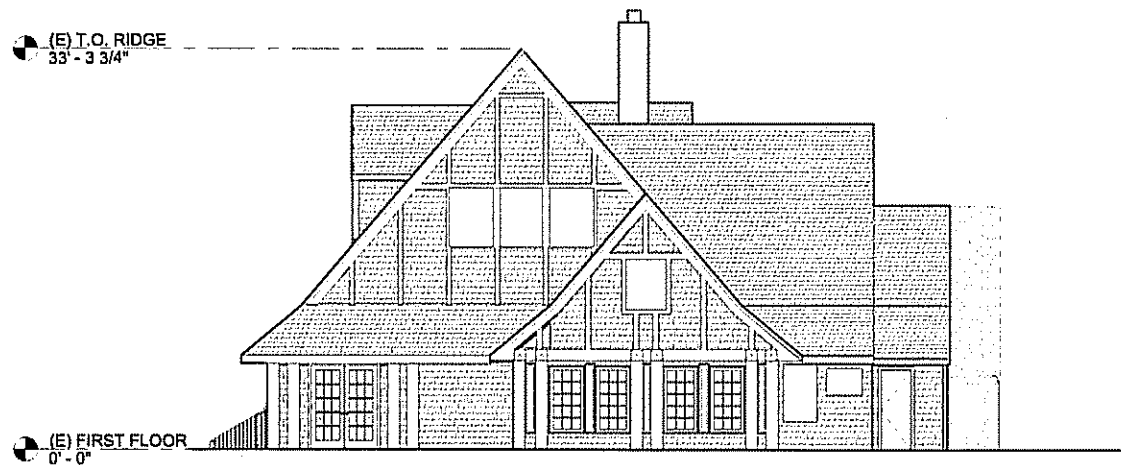
LAND USE SUBMITTAL



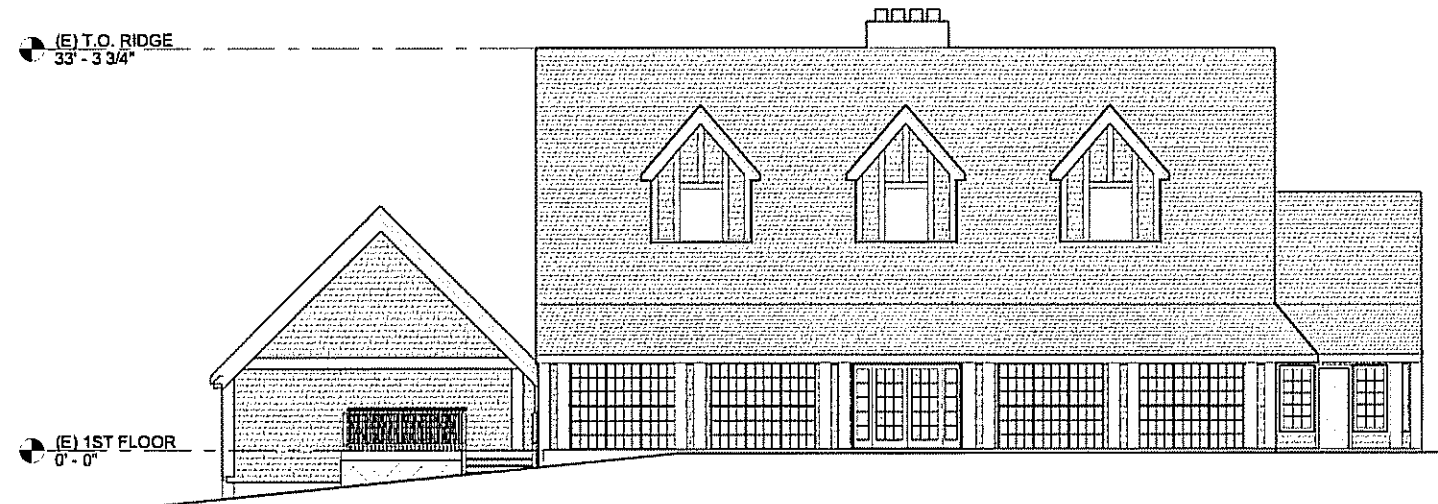
1 NORTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"

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EMERICK ARCHITECTS

3710 NORTHWEST FOURTH AVENUE, SUITE 200, PORTLAND, OR 97209
P: 503.255.5400 W: EMERICKARCHITECTS.COM

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WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

EXISTING ELEVATIONS

PROJECT NO: 1723
DRWN BY: MS CHKD BY: KD
DATE: 05/24/2019

A1.11

LAND USE SUBMITTAL

PLAN LEGEND:

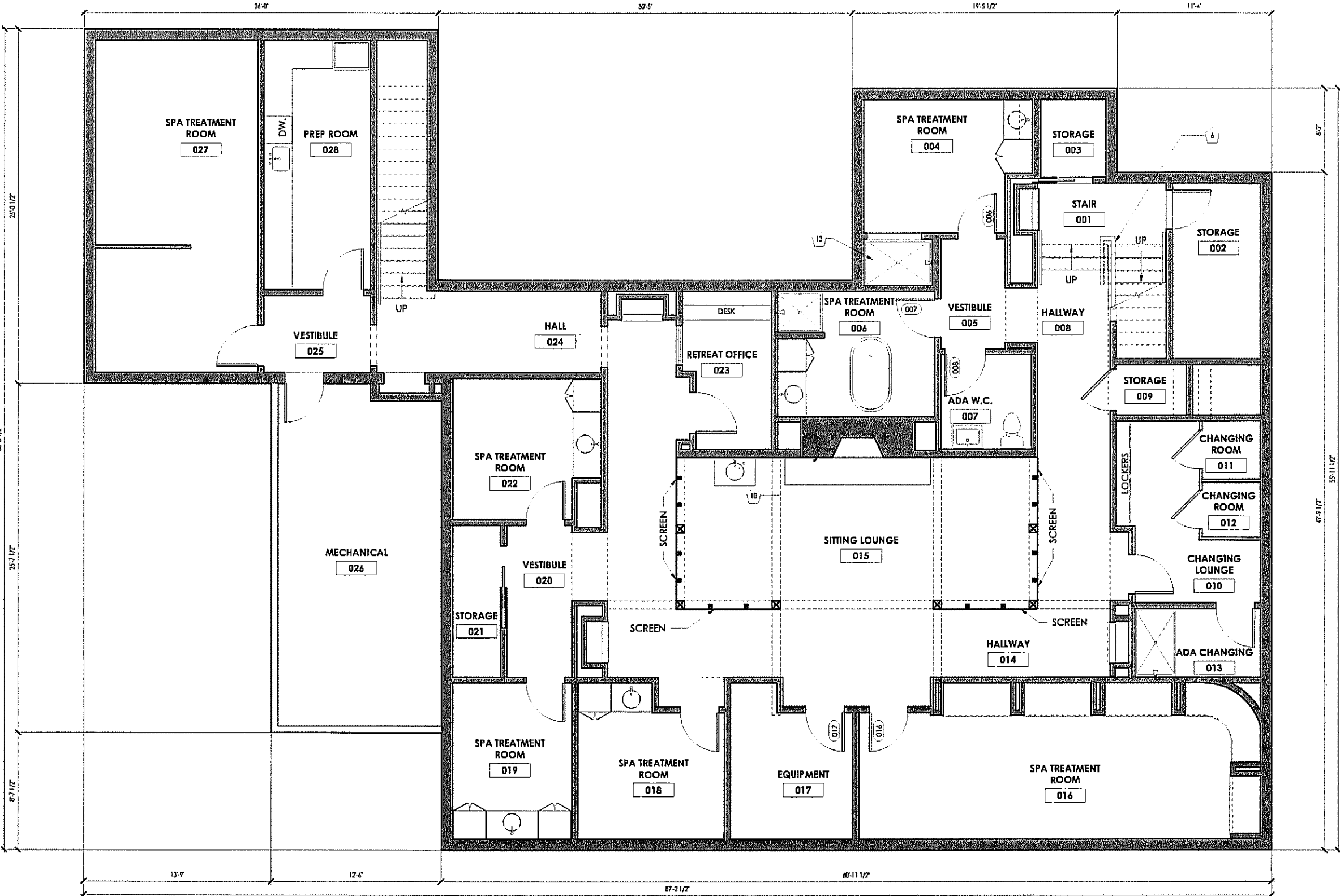
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. REPLACE ALL FOUNDATION WALLS + FLOOR SLAB IN BASEMENT, EXTENTS OF BASEMENT TO REMAIN WITHIN THE FOOTPRINT OF THE EXISTING BUILDING
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COARSER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
8. TYPICAL INTERIOR PARTITIONS TO HAVE WOOD CHIP/CLAY INFILL AT STUD CAVITIES WITH WOOD LATH ON EACH SIDE
9. PRICING ALTERNATE: SHEEP WOOL IN LIEU OF ROCK WOOL
10. SEE WALL SECTIONS A4 SERIES FOR EXTERIOR WALL ASSEMBLIES
11. ALL INTERIOR FINISHES AND MATERIALS - INCLUDING BUT NOT LIMITED TO WOOD TRIM, CASEWORK, DOORS, PAINT, STAINS, ETC. SHALL CONTAIN NO CHEMICALS, V.O.C.'S OR FORMALDEHYDES.
12. CONSTRUCTION MATERIALS AND TECHNIQUES SHALL NOT INCLUDE ANY FORMALDEHYDES OR OFF-GASING CHEMICALS

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TSUKUBAI WATER BASIN
3. DOUBLE HEIGHT SPACE
4. RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
5. NEW STAIR TO MEET CURRENT BUILDING CODE, DETAILS TO MATCH HISTORIC SALVAGED STAIR
6. EXISTING DECK TO BE REBUILT
7. VERIFY INTERIOR MATERIALS TO BE SALVAGED/MATCHED
8. NEW MASONRY FIREPLACE @ BASEMENT
9. NEW BASEMENT STAIR
10. RESTORE (E) SECOND FLOOR FIREPLACE
11. LAY-IN TEAK BATH MAT @ SHOWERS IN SPA
12. RESIDENTIAL APARTMENT



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS
311 COMMERCIAL AVENUE, SUITE 200 PORTLAND, OR 97204
P. 503.225.4622 W. EMERICKARCHITECTS.COM

CONSULTANT
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VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
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BASEMENT FLOOR
PLAN - PROPOSED

PROJECT NO: 1723
ORWN BY: JC CHKD BY: KMD
DATE: 05/24/2019

A2.1

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PLAN LEGEND:

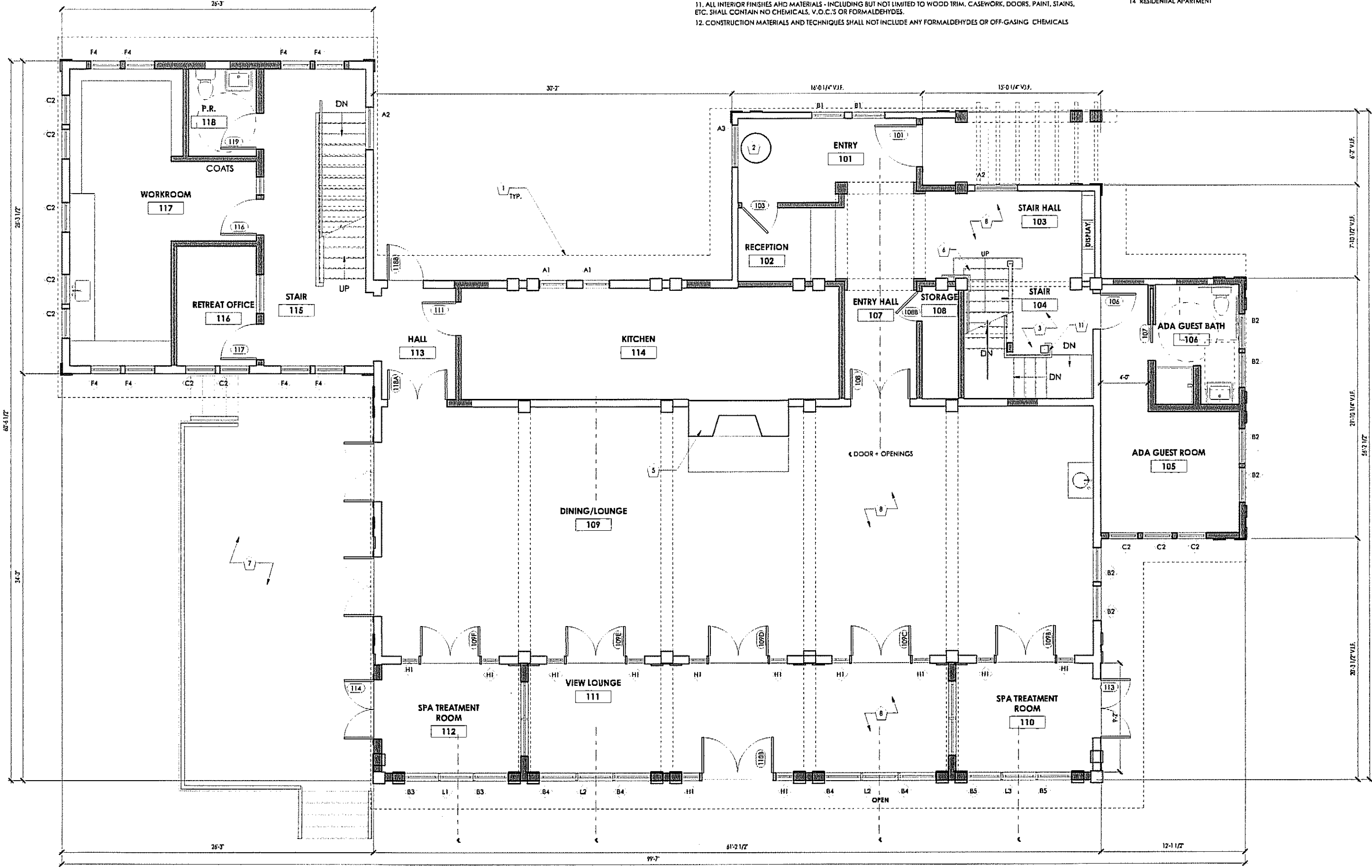
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. REPLACE ALL FOUNDATION WALLS + FLOOR SLAB IN BASEMENT. EXTENTS OF BASEMENT TO REMAIN WITHIN THE FOOTPRINT OF THE EXISTING BUILDING
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COARSER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
8. TYPICAL INTERIOR PARTITIONS TO HAVE WOOD CHIP/CLAY INFILL AT STUD CAVITIES WITH WOOD LATH ON EACH SIDE
9. PRICING ALTERNATE: SHEEP WOOL IN LIEU OF ROCK WOOL
10. SEE WALL SECTIONS A4 SERIES FOR EXTERIOR WALL ASSEMBLIES
11. ALL INTERIOR FINISHES AND MATERIALS - INCLUDING BUT NOT LIMITED TO WOOD TRIM, CASEWORK, DOORS, PAINT, STAINS, ETC. SHALL CONTAIN NO CHEMICALS, V.O.C.'S OR FORMALDEHYDES.
12. CONSTRUCTION MATERIALS AND TECHNIQUES SHALL NOT INCLUDE ANY FORMALDEHYDES OR OFF-GASING CHEMICALS

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TSUKUBAI WATER BASIN
3. DOUBLE HEIGHT SPACE
5. RESTORE [E] RIVER ROCK FIREPLACE + HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. EXISTING DECK TO BE REBUILT
8. VERIFY INTERIOR MATERIALS TO BE SALVAGED/MATCHED
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE [E] SECOND FLOOR FIREPLACE
13. LAY-IN TEAK BATH MAT @ SHOWERS IN SPA
14. RESIDENTIAL APARTMENT



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS

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FIRST FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHKD BY:KMD
DATE:05/24/2019

A2.2

LAND USE SUBMITAL

PLAN LEGEND:

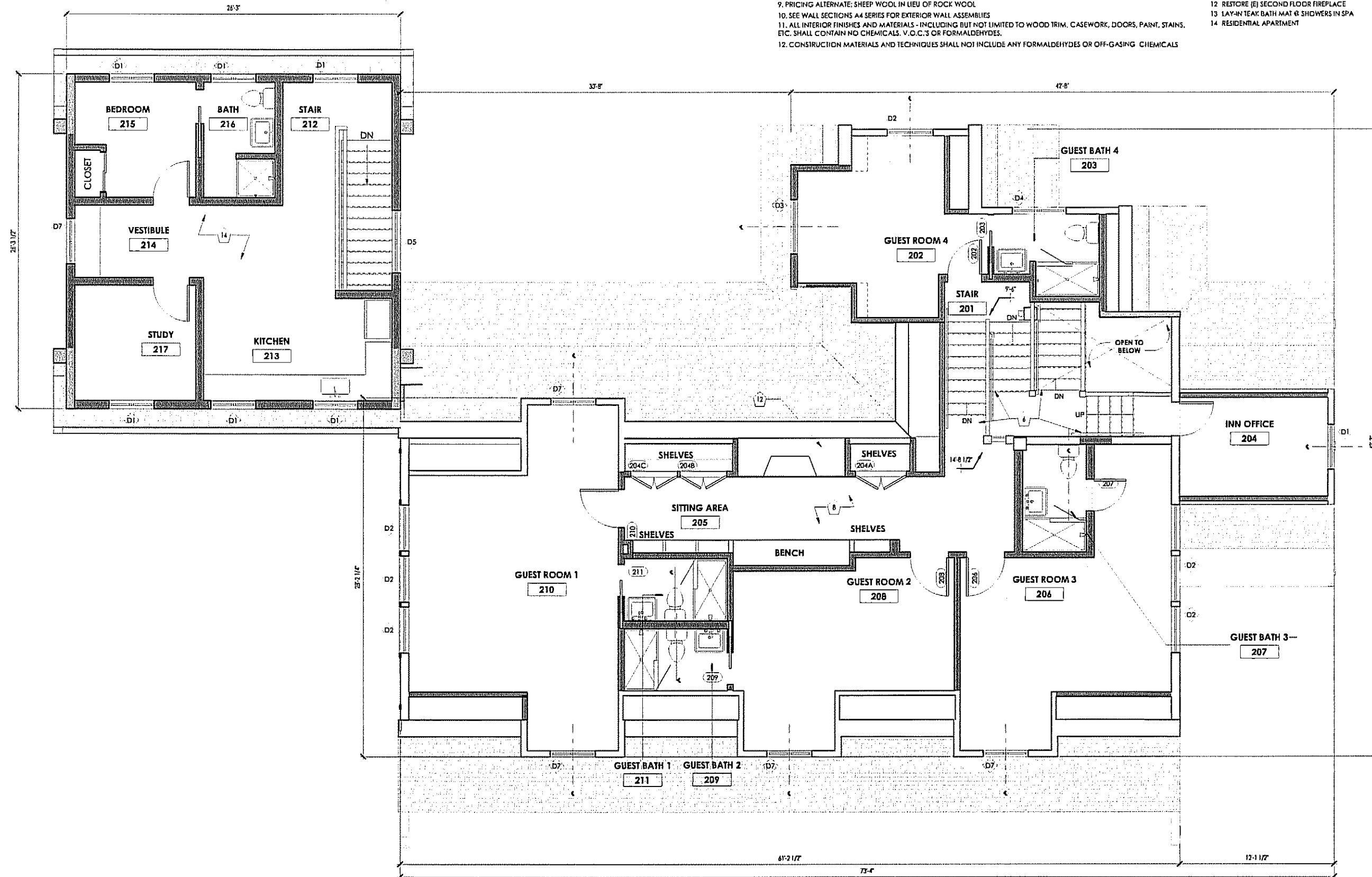
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. REPLACE ALL FOUNDATION WALLS + FLOOR SLAB IN BASEMENT, EXTENTS OF BASEMENT TO REMAIN WITHIN THE FOOTPRINT OF THE EXISTING BUILDING
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COARSER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
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7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
8. TYPICAL INTERIOR PARTITIONS TO HAVE WOOD CHIP/CLAY INRILL AT STUD CAVITIES WITH WOOD LATH ON EACH SIDE
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12. CONSTRUCTION MATERIALS AND TECHNIQUES SHALL NOT INCLUDE ANY FORMALDEHYDES OR OFF-GASING CHEMICALS

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TSUKUBAI WATER BASIN
3. DOUBLE HEIGHT SPACE
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6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. EXISTING DECK TO BE REBUILT
8. VERIFY INTERIOR MATERIALS TO BE SALVAGED/MATCHED
10. NEW MASONRY FIREPLACE @ BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (E) SECOND FLOOR FIREPLACE
13. LAY-IN TEAK BATH MAT @ SHOWERS IN SPA
14. RESIDENTIAL APARTMENT



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

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SECOND FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 05/24/2019

A2.3

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SECOND FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 05/24/2019

A2.3

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Corbett, OR 97019

SECOND FLOOR PLAN -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 05/24/2019

A2.3

LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT. GLAZING TO HAVE A REFLECTIVITY RATING OF NO MORE THAN 11%.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & KORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

- 1 NEW PAINTED WOOD TRIM BETWEEN COLUMNS
- 2 REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CDNDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
- 3 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED, PROVIDE SPARK ARRESTOR & NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 8 NEW CUSTOM WOOD ENTRY DOOR
- 9 NEW PAINTED WOOD TRELLIS TO MATCH EXISTING HISTORIC CHARACTER
- 10 PROVIDE NEW ROOF AT EXISTING DORMER
- 11 NEW CABLE RAIL SYSTEM WITH WOOD CAP
- 12 REBUILD EXISTING DECK
- 13 MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENING
- 15 NEW PARCELED CONCRETE AT FOUNDATION
- 17 NEW WOOD TRIM TO MATCH HISTORIC WOOD TRIM ON NORTH ELEVATION
- 18 MATCH (E) HISTORIC TRIM
- 19 NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS NEC.
- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED
- 24 NEW CEDAR SHINGLE SIDING LEFT NATURAL TO MAINTAIN EARTH-TONE APPEARANCE



1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS
311 SOUTHWEST COURTHOUSE STREET, PORTLAND, OR 97204
P. 503.255.3342 W. EMERICK-ARCHITECTS.COM

CONSULTANT
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40301 E Larch Mountain Rd,
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WEST ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 05/24/2019

A3.1

LAND USE SUBMITTAL

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT. GLAZING TO HAVE A REFLECTIVITY RATING OF NO MORE THAN 11%.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

- 1 NEW PAINTED WOOD TRIM BETWEEN COLUMNS
- 2 REPAIR & REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
- 3 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR & NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 8 NEW CUSTOM WOOD ENTRY DOOR
- 9 NEW PAINTED WOOD TRELLIS TO MATCH EXISTING HISTORIC CHARACTER
- 10 PROVIDE NEW ROOF AT EXISTING DORMER
- 11 NEW CABLE RAIL SYSTEM WITH WOOD CAP
- 12 REBUILD EXISTING DECK
- 13 MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENING
- 15 NEW FARGED CONCRETE AT FOUNDATION
- 17 NEW WOOD TRIM TO MATCH HISTORIC WOOD TRIM ON NORTH ELEVATION
- 18 MATCH (E) HISTORIC TRIM
- 19 NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS NEC.
- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED
- 24 NEW CEDAR SHINGLE SIDING (LEFT) NATURAL TO MAINTAIN EARTH-TONE APPEARANCE



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

EMERICK ARCHITECTS

211 SOUTHWEST TOWNSHIP AVENUE SUITE 200 PORTLAND, OR 97204
P 503.253.5142 W EMERICKARCHITECT.COM

CONSULTANT

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VIEW POINT INN &
WELLNESS CENTER
40301 E Larch Mountain Rd,
Corbett, OR 97019

NORTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC |CHK'D BY:KMD
DATE:05/24/2019

A3.2

LAND USE SUBMITTAL

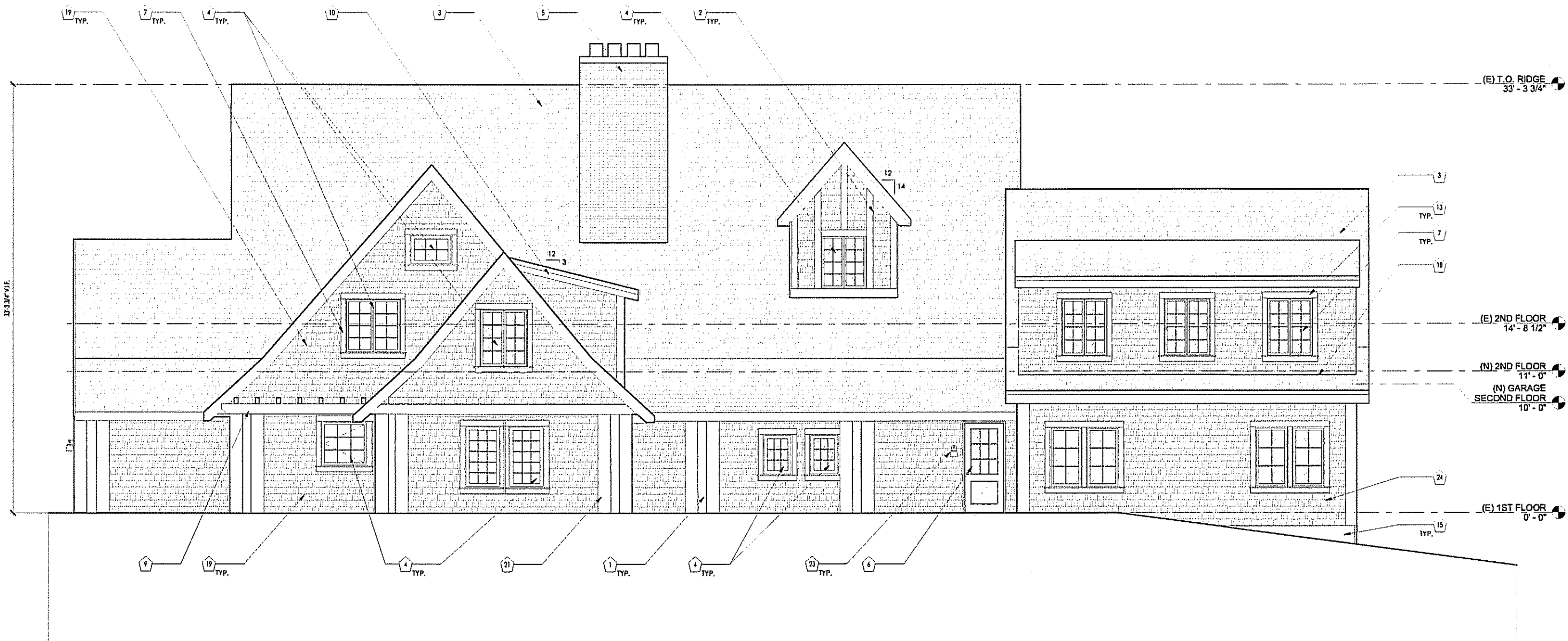
NOTE: INFORMATION IN THESE
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ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT. GLAZING TO HAVE A REFLECTIVITY RATING OF NO MORE THAN 11%.
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS.
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK.
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN.

PROPOSED ELEVATION KEYNOTES:

- 1 NEW PAINTED WOOD TRIM BETWEEN COLUMNS
- 2 REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
- 3 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR IF NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 7 NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 8 NEW CUSTOM WOOD ENTRY DOOR
- 9 NEW PAINTED WOOD TRELLIS TO MATCH EXISTING HISTORIC CHARACTER
- 10 PROVIDE NEW ROOF AT EXISTING DORMER
- 11 NEW CABLE RAIL SYSTEM WITH WOOD CAP
- 12 REBUILD EXISTING DECK
- 13 MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
- 14 NEW DOORS AT EXISTING OPENING
- 15 NEW PARGED CONCRETE AT FOUNDATION
- 17 NEW WOOD TRIM TO MATCH HISTORIC WOOD TRIM ON NORTH ELEVATION
- 18 MATCH (E) HISTORIC TRIM
- 19 NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
- 20 NEW PAINTED WOOD PANELING
- 21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN. REPAIR AS NEC.
- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED
- 24 NEW CEDAR SHINGLE SIDING LEFT NATURAL TO MAINTAIN EARTH-TONE APPEARANCE



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS

311 SOUTH MOUNTAIN AVENUE, SUITE 200, PORTLAND, OR 97204
P: 503.251.5145 W: EMERICKARCHITECT.COM

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EAST ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC | CHK'D BY: KMD
DATE: 05/24/2019

A3.3

LAND USE SUBMITTAL

ELEVATION NOTES:

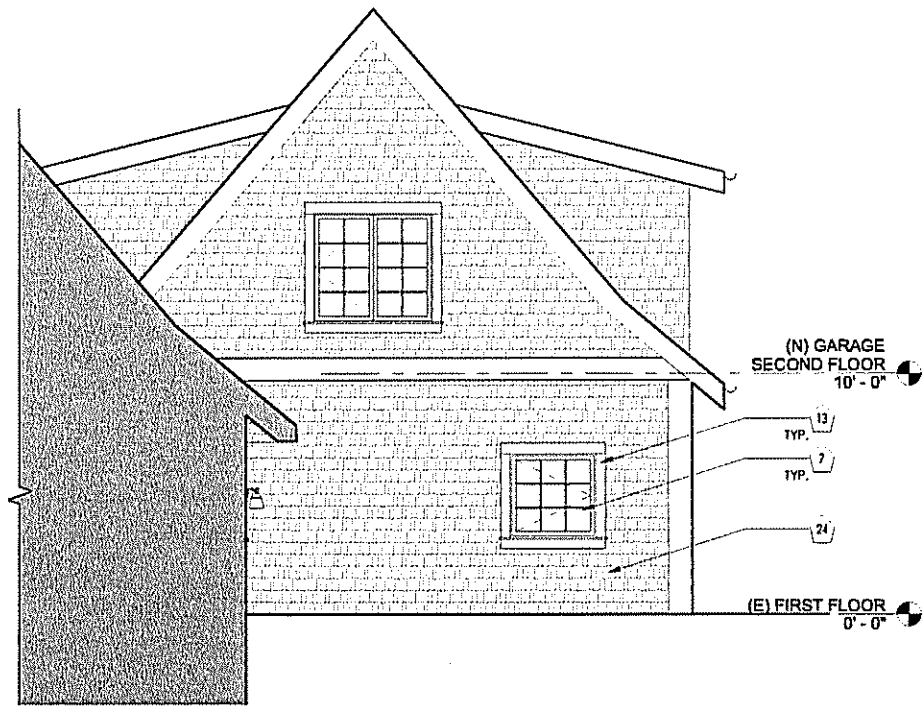
1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT. GLAZING TO HAVE A REFLECTIVITY RATING OF NO MORE THAN 11%.
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3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

- 1 NEW PAINTED WOOD TRIM BETWEEN COLUMNS
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- 4 NEW WINDOW AT EXISTING OPENING, TYP.
- 5 (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED, PROVIDE SPARK ARRESTOR
- 6 NEW CHIMNEY CONSTRUCTION
- 6 NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
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- 22 NEW COPPER GUTTER THROUGHOUT
- 23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED
- 24 NEW CEDAR SHINGLE SIDING LEFT NATURAL TO MAINTAIN EARTH-TONE APPEARANCE



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - GARAGE
SCALE: 1/4" = 1'-0"

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EMERICK ARCHITECTS
311 SOUTH MOUNTAIN RD. SUITE 200 PORTLAND, OR 97204
P. 503.255.1111 W. EMERICKARCHITECTS.COM

CONSULTANT
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SOUTH ELEVATION -
PROPOSED

PROJECT NO: 1723
DRWN BY: JC [CHKD BY:KMD]
DATE:05/24/2019

A3.4

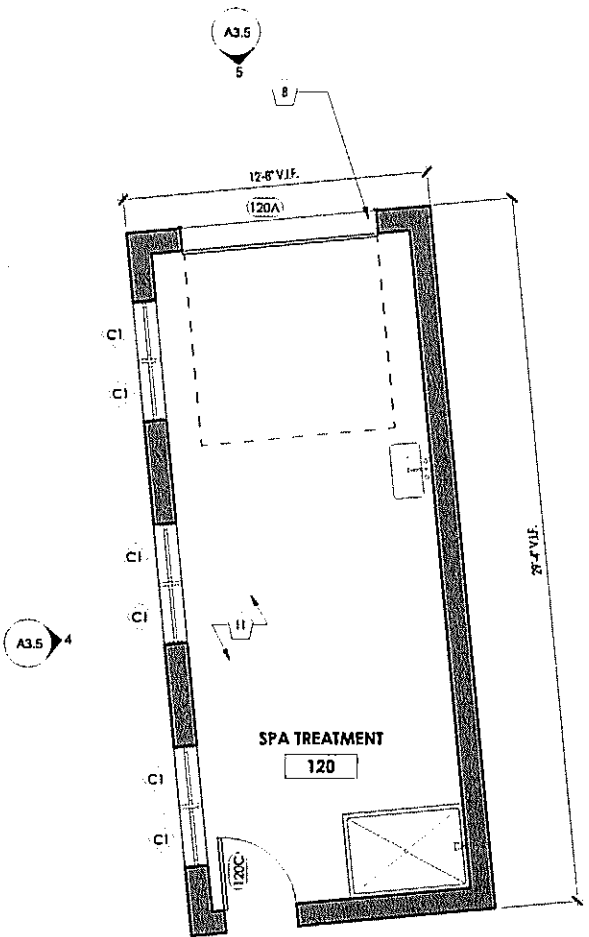
LAND USE SUBMITTAL

ELEVATION NOTES:

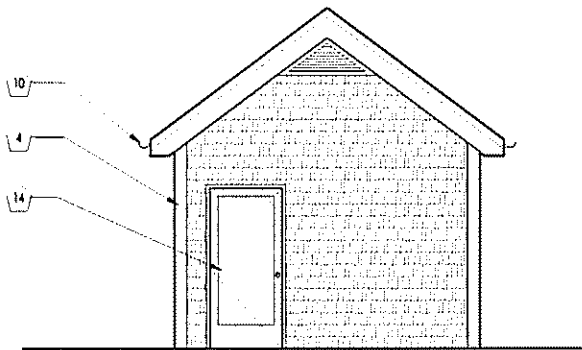
- 1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT. GLAZING TO HAVE A REFLECTIVITY RATING OF NO MORE THAN 11%.
- 2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS
- 3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
- 4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED OUTBUILDING KEYNOTES:

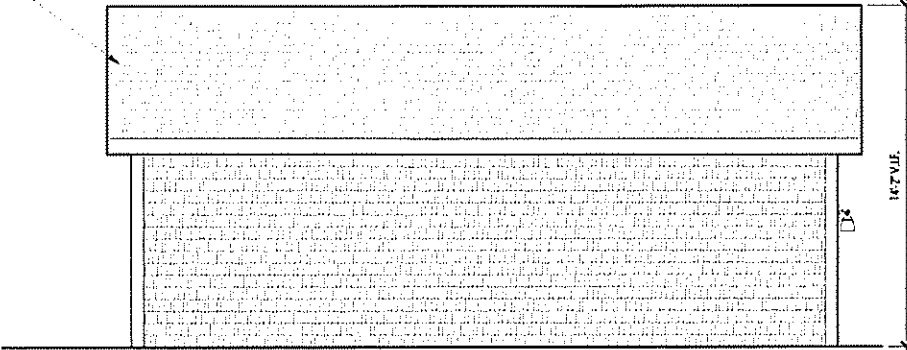
- 1 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL ROOF OF MAIN BLDG
- 2 MATCH (E) WINDOW TRIM AT ALL NEW WINDOWS
- 3 NEW ALUMINUM CLAD WOOD WINDOWS TO MATCH MAIN BLDG. DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
- 4 MATCH (E) HISTORIC TRIM
- 6 NEW CEDAR SHINGLE SIDING LEFT NATURAL TO MAINTAIN EARTH-TONE APPEARANCE
- 8 RECONSTRUCTED ACCESSORY BUILDING ON EXISTING FOOTPRINT
- 10 NEW COPPER GUTTERS THROUGHOUT
- 11 REPAIR OR REPLACE EXISTING SLAB ON GRADE AS NECESSARY
- 12 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED
- 13 NORTHWEST DOOR HERITAGE CLASSIC SERIES OR SIM
- 14 NEW DOORS TO MATCH MAIN HOUSE



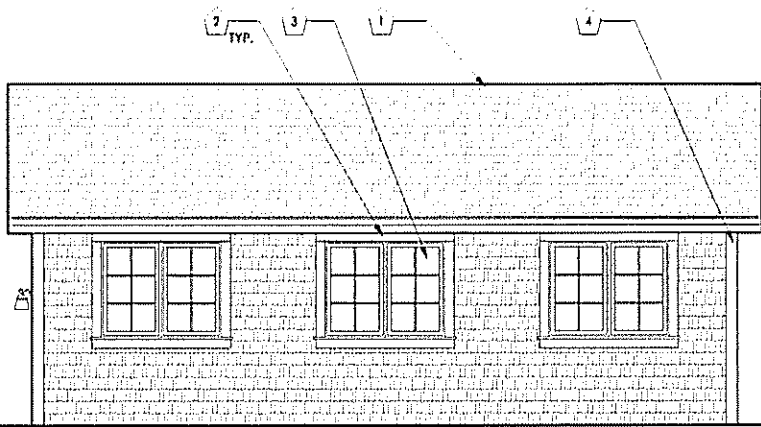
2 WEST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



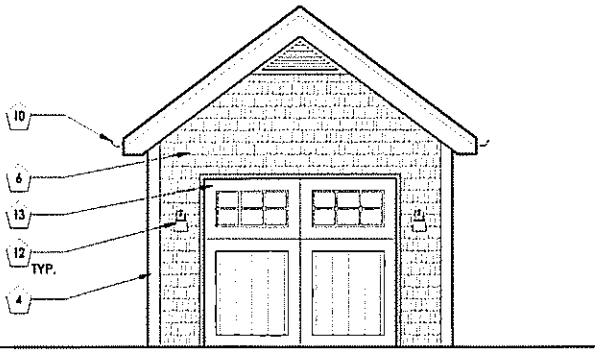
3 SOUTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

(E) ACC. BLDG. F.F. -8'-7"

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

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