

1600 SE 190th Avenue, Portland OR 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

NOTICE OF NSA DECISION

Case File: T2-2019-12409 Permit: National Scenic Area (NSA) Site Review

Applicant(s): Terra Lingley, Owner(s): United States of America

ODOT Oregon Department of Transportation (ODOT)

Location: One onta Tunnel located on the Historic Columbia River Hwy at milepost 20-20.3

Tax Lot 100, Section 09, Township 1 North, Range 6 East, W.M. Tax Account #R946090010 Property ID #R R323240

Zoning: Gorge Special Open Space (GSO)

Key Viewing Beacon Rock, Cape Horn, Columbia River, Historic Columbia River Highway.

Areas: Highway I-84, Pacific Crest Trail, Washington State Route 14

Landscape Setting: Coniferous Woodlands

Recreation Intensity: Recreation Intensity Class 1

Proposal The applicant requests a National Scenic Area (NSA) review for the repair,

Summary: rehabilitation, and replacement of portions of Oneonta Tunnel that were damaged in

the Eagle Creek Fire that began on September 2, 2017

Decision: Approved with Conditions

This decision is final and effective at the close of the appeal period, unless appealed. The deadline for filing an appeal is **Thursday**, **March 12**, **2020**, **at 4:00 pm**.

Opportunity to Review the Record: The complete case file, including the Planning Director Decision containing Findings, Conclusions, Conditions of Approval, and all evidence associated with this application is available for review at the Land Use Planning office. Copies of all documents are available at the rate of \$0.30/per page. For further information, contact Rithy Khut, Staff Planner at 503-988-0176 or at rithy.khut@multco.us

Opportunity to Appeal: An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. To obtain appeal forms or information on the procedure, contact the Land Use Planning office at 1600 SE 190th Avenue (Phone: 503-988-3043). This decision is not appealable to the Columbia River Gorge Commission until all local appeals are exhausted.

Rithy Khut, Planner

For: Carol Johnson, AICP, Planning Director

Date: Thursday, February 27, 2020



Applicable Approval Criteria:

For this application to be approved, the proposal will need to meet the applicable approval criteria below:

Multnomah County Code (MCC): <u>General Provisions</u>: MCC 38.0015 Definitions, MCC 38.0030(C) Existing Uses and Discontinued Uses

Administration and Procedures: MCC 38.0560 Code Compliance and Applications

Zoning Districts: MCC 38.1005(B)(1) Allowed Uses

NSA Site Review Approval Criteria: MCC 38.7040 SMA Scenic Review Criteria

Copies of the referenced Multnomah County Code sections are available by contacting our office at (503) 988-3043 or by visiting our website at https://multco.us/landuse/zoning-codes/ under the link Chapter 38: Columbia River Gorge National Scenic Area

Conditions of Approval

Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein. The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in brackets.

- 1. Permit Expiration This land use permit shall expire as follows:
 - a. Within two (2) years of the date of the final decision, when construction has not commenced. [MCC 38.0690(B)(1)]
 - i. For purposes of Condition #1.a., commencement of construction shall mean actual construction of the foundation or frame of the approved structure. For utilities and developments without a frame or foundation, commencement of construction shall mean actual construction of support structures for an approved above ground utility, development, or actual excavation of trenches for an

- approved underground utility or development. For roads, commencement of construction shall mean actual grading of the roadway.
- ii. Notification of commencement of construction will be given to Multnomah County Land Use Planning Division a minimum of seven (7) days prior to date of commencement. Work may commence once notice is completed. [MCC 38.0690(B)(3)]
- b. When the structure has not been completed within two (2) years of the date of commencement of construction. [MCC 37.0690(B)(2)]
 - i. For purposes of Condition #1.b, completion of the structure shall mean completion of the exterior surface(s) of the structure and compliance with all conditions of approval in the land use approval. [MCC 38.0690(B)(4)]

Note: Expiration of the permit is automatic. Failure to give notice of expiration shall not affect the expiration of this approval. The property owner may request one (1) 12-month extension to the timeframe within which this permit is valid, as provided under MCC 38.0700, as applicable. The request for a permit extension must be submitted prior to the expiration of the approval period. [MCC 38.0700]

- 2. Prior to and during construction, the property owner(s) or their representative(s) shall ensure that:
 - a. If any Cultural Resources and/or Archaeological Resources are located or discovered on the property during this project, including but not limited to finding any evidence of historic campsites, old burial grounds, implements, or artifacts, the following procedures shall be implemented. Additionally all survey and evaluation reports and mitigation plans shall be submitted to the Planning Director and the SHPO. Native American tribal governments shall also receive a copy of all reports and plans if the cultural resources are prehistoric or otherwise associated with Native Americans.:
 - i. Halt Construction All construction activities within 100 feet of the discovered cultural resource shall cease. The cultural resources shall remain as found; further disturbance is prohibited.
 - ii. Notification The project applicant shall notify the County Planning Director and the Gorge Commission within 24 hours of the discovery. If the cultural resources are prehistoric or otherwise associated with Native Americans, the project applicant shall also notify the Native American tribal governments within 24 hours. Procedures required in MCC 38.7045(L) shall be followed.
 - iii. Survey and Evaluation The Gorge Commission will survey the cultural resources after obtaining written permission from the landowner and appropriate permits from Oregon State Historic Preservation Office (SHPO) (see ORS 358.905 to 358.955). It will gather enough information to evaluate the significance of the cultural resources. The survey and evaluation will be documented in a report that generally follows the standards in MCC 38.7045(C)(2) and MCC 38.7045(E).
 - iv. Mitigation Plan Mitigation plans shall be prepared according to the information, consultation, and report standards of MCC 38.7045(J). Construction activities may recommence when the conditions in the mitigation plan have been executed. [MCC 38.7045(L)]

- b. The following procedures shall be in effect if human remains are discovered during excavation or construction (human remains means articulated or disarticulated human skeletal remains, bones, or teeth, with or without attendant burial artifacts):
 - i. Halt Activities All survey, excavation, and construction activities shall cease. The human remains shall not be disturbed any further.
 - ii. Notification Local law enforcement officials, the Multnomah County Planning Director, the Gorge Commission, and the Native American tribal governments shall be contacted immediately.
 - iii. Inspection The State Medical Examiner shall inspect the remains at the project site and determine if they are prehistoric/historic or modern. Representatives from the Indian tribal governments shall have an opportunity to monitor the inspection.
 - iv. Jurisdiction If the remains are modern, the appropriate law enforcement officials will assume jurisdiction and the cultural resource protection process may conclude.
 - v. Treatment Prehistoric/historic remains of Native Americans shall generally be treated in accordance with the procedures set forth in Oregon Revised Statutes, Chapter 97.740 to 97.760.
 - 1. If the human remains will be reinterred or preserved in their original position, a mitigation plan shall be prepared in accordance with the consultation and report standards of MCC 38.7045(I).
 - The plan shall accommodate the cultural and religious concerns of Native Americans. The cultural resource protection process may conclude when the conditions set forth in the standards of MCC 38.7045(J) are met and the mitigation plan is executed. [MCC 38.7045(M)]

Note: Once this decision is final, application for building permits may be made with the City of Gresham. When ready to have building permits signed off by land use planning, the applicant shall compete the following steps:

- 1. Read your land use decision, the conditions of approval and modify your plans, if necessary, to meet any condition that states, "Prior to land use sign-off for building plan check..." Be ready to demonstrate compliance with the conditions.
- 2. Contact Staff Planner, Rithy Khut at 503-988-0176 or rithy.khut@multco.us for an appointment for review of the conditions of approval and to sign the building permit plans. Land Use Planning must sign off on the plans and authorize the building permit before you can go to the Building Department. At the time of this review, Land Use Planning will collect additional fees.

The above must be completed before the applicant can obtain building permits from the City of Gresham. Three (3) sets each of the site plan and building plans are needed for building permit sign off. At the time of building permit review, a fee will be collected. In addition, an erosion control inspection fee may be required.

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

Findings of Fact

FINDINGS: Written findings are contained herein. The Multnomah County Code (MCC) criteria and Comprehensive Plan Policies are in **bold** font. Staff analysis and comments are identified as '**Staff**:' and address the applicable criteria. Staff comments may include a conclusionary statement in *italic*.

1.00 Project Description:

Staff: The applicant is requesting a National Scenic Area (NSA) site review for the repair, rehabilitation, and replacement of portions of Oneonta Tunnel, which was damaged in the Eagle Creek Fire that began on September 2, 2017

2.00 Property Description & History:

Staff: The NSA site review application is for Oneonta Tunnel, located on the East Historic Columbia River Hwy at milepost 20-20.3. The tunnel is adjacent to tax lot 100, Section 09, Township 1 North, Range 6 East, W.M. The tunnel is located in the Gorge Special Open Space (GSO) zoning district in the Columbia River Gorge National Scenic Area (CRGNSA).

There is no assessor data for the tunnel from Multnomah County Department of Assessment, Records, and Taxation (DART) as it is located on Federal land and owned by the Oregon Department of Transportation (ODOT). Oneonta Tunnel was constructed as part of the original Columbia River Highway in 1914. After the highway was relocated to the north of Oneonta Bluff, the tunnel was abandoned and filled with rock in 1948. Subsequently in 2005, the Western Federal Lands Highway Division with ODOT began working to re-open the tunnel, which was completed in 2009. During this time, ODOT sought various permits as shown below:

Land Use Case	Determination Date	Description
T2-05-015	November 11, 2005	NSA permit request to restore historic features of the Historic Columbia River Highway at Oneonta Gorge. Formalize parking, improve access, enhance aesthetics, provide wheelchair access, and open historic tunnel.
T2-06-012	April 5, 2006	Hillside Development (HDP) permit request for a project to construct parking areas, revegetate Oneonta Creek bank and create pedestrian connections in the GSO zone district.
T2-2012-2570	October 31, 2012	Expedited NSA review for interpretive signage at Oneonta Tunnel

3.00 Public Comment:

3.01 Comments from Christian Nauer, Archaeologist, Confederated Tribes of the Warm Springs Reservation of Oregon

Staff: Christian Nauer submitted an e-mail on September 16, 2019 stating that the Confederated Tribes of the Warm Springs Reservation of Oregon (CTWSRO) has concerns and that the project is within a Project Area of Potential Effects (APE). The e-mail did not state any recommendations (Exhibit B.1).

3.02 Comments from Chris Donnermeyer, Heritage Resources Program Manager, Columbia River Gorge National Scenic Area

Staff: Chris Donnermeyer submitted a Cultural Resource Survey Determination on September 17, 2019 stating that "A Cultural Resource Reconnaissance Survey is: Not Required" and "A Historic Survey is: Not Required." The reconnaissance survey was not required because, "[the proposed project] would occur on a site that has been adequately surveyed in the past." The Historic Survey was not required because a report (Report No. 1376) was completed in November 2004 that included the project area and adequately surveyed the project area completing the reconnaissance and historic survey requirements. While this project "Would alter the exterior architectural appearance of significant buildings and structures that are 50 years old or older," a Historic Survey was deeded not required. (Exhibit B.2).

The comments also requests that if historic or pre-contact cultural materials are found that the applicant or their agents cease work and notify the Columbia River Gorge Commission as well as the Oregon State Historic Preservation Office (SPHO). That request is incorporated as a Condition of Approval.

3.03 Comments from Shane P. James, Archaeologist, Heritage Division, Oregon Parks and Recreation Department

Staff: Shane James submitted an e-mail on October 2, 2019 stating that State Historic Preservation Office within the Oregon Parks and Recreation Department will submit comments through the Section 106 review process, which is part of the National Historic Preservation Act (NHPA) process (Exhibit B.3).

3.04 Comments from Steven D. McCoy, Staff Attorney, Friends of the Columbia Gorge

Staff: Steven D. McCoy submitted an e-mail and letter on January 3, 2020 outlining various concerns about the project. The letter discusses the application requirements, what is allowed as an existing use, what is allowed as an allowed use, and resource impact reviews that need to be completed, if the proposed project is not permitted under MCC 38.0030 (Exhibit B.4).

Findings in Section 5.00 address the concerns from the letter.

4.00 Code Compliance and Applications Criteria:

4.01 § 38.0560 CODE COMPLIANCE AND APPLICATIONS.

Except as provided in subsection (A), the County shall not make a land use decision approving development, including land divisions and property line adjustments, or issue a building permit for any property that is not in full compliance with all applicable provisions of the Multnomah County Land Use Code and/or any permit approvals previously issued by the County.

- (A) A permit or other approval, including building permit applications, may be authorized if:
 - (1) It results in the property coming into full compliance with all applicable provisions of the Multnomah County Code. This includes sequencing of permits or other approvals as part of a voluntary compliance agreement; or
 - (2) It is necessary to protect public safety; or

- (3) It is for work related to and within a valid easement over, on or under an affected property.
- (B) For the purposes of this section, Public Safety means the actions authorized by the permit would cause abatement of conditions found to exist on the property that endanger the life, health, personal property, or safety of the residents or public. Examples of that situation include but are not limited to issuance of permits to replace faulty electrical wiring; repair or install furnace equipment; roof repairs; replace or repair compromised utility infrastructure for water, sewer, fuel, or power; and actions necessary to stop earth slope failures.

Staff: As required, the County shall not make a land use decision approving development or issue a building permit for any property that is not in full compliance with all applicable provisions of the Multnomah County Land Use Code and/or any permit approvals previously issued by the County. To be in full compliance means that there is no active code compliance cases open or active complaints currently pending. At this time, there are no active code compliance cases open or active complaints. Additionally, in reviewing the previous three permit approvals, the project is in compliance with those approvals issued by the County.

These criteria are met and the County can make a land use decision approving development.

5.00 Existing Uses and Discontinued Uses Criteria

5.01 § 38.0030 EXISTING USES AND DISCONTINUED USES

(C) Replacement of Existing Structures Damaged or Destroyed by Disaster: An existing structure damaged or destroyed by fire, flood, landslide or other similar disaster may be replaced if a complete land use application for a replacement structure is submitted to the reviewing agency within two years of the date the original structure was damaged or destroyed. The replacement structure shall comply with the following standards:

Staff: The applicant is requesting to replace portions of the existing structure, Oneonta Tunnel that was damaged and destroyed by disaster. The narrative states that the aesthetic wood liner caught fire on September 4, 2017, which is two days after the start of Eagle Creek Fire (Exhibit A.2). The scope of the replacement includes replacement of the six rock dowels, shotcrete, the timber canopy, waterproofing membrane, and wood portals within the tunnel. The applicant will also replace the tunnel drainage systems. As required above, an existing structure that is damaged or destroyed by fire may be replaced, if a complete land use application for a replacement structure is submitted within two years of the date the original structure was damaged or destroyed. This application was submitted on August 29, 2019, which is 1 year, 11 months and 25 days after the date the original structure was damaged (Exhibit A.1). *This criterion is met*.

(1) The replacement structure shall be used in the same manner and for the same purpose as the original structure. An existing mobile home may be replaced with a framed residence.

Staff: The applicant is requesting to replace portions of the existing structure, the Oneonta Tunnel that was damaged and destroyed in the Eagle Creek Fire. The narrative states that the tunnel structure is an historic feature within the Columbia River Gorge and is part of the

Historic Columbia River Highway National Historic District and National Historic Landmark (Exhibit A.2). The current use of the structure is for recreation purposes as individuals visiting the area are able to walk through the historic tunnel. As proposed, "the project will replace the [portions of] the tunnel in the same manner and to serve the same recreational purpose as [as approved under T2-05-015 and T2-06-012]." *This criterion is met*.

- (2) The replacement structure shall be in the same location as the original structure. An exception may be granted and the replacement structure may be sited in a different location if the following conditions exist:
 - (a) A registered civil engineer, registered geologist, or other qualified and licensed professional hired by the applicant demonstrates the disaster made the original building site physically unsuitable for reconstruction.
 - (b) The new building site is no more visible from key viewing areas than the original building site. An exception may be granted if a registered civil engineer, registered geologist, or other qualified and licensed professional hired by the applicant demonstrates the subject parcel lacks alternative building sites physically suitable for construction that are no more visible from key viewing areas than the original building site.
 - (c) The new building site complies with the cultural resources, natural resources, and treaty rights protection provisions.

Staff: The site plan indicates that portions of the structure will be replaced. The tunnel continues to exist in its original location, but the aesthetic wood liner/timber canopy lining was destroyed in the fire. The replacement of the components of the tunnel will include the following:

- Rock dowels
- Shotcrete
- Timber canopy
- Waterproofing membrane
- Wood portals
- Tunnel drainage system

The site plan indicates where parts of the structure will be replaced. The rock dowels are shown on Sheet F.11 and F.12 (Exhibit A.13). The shotcrete, timber canopy, waterproofing membrane, and wood portals are shown on Sheets F.2, F.3, F.5, F.6, F.7, and F.8. The tunnel drainage system is comprised of a geo-composite strip drain that was directly exposed to the fire. The applicant is proposing to replace the drain.

The applicant also discusses the need to repair pavement, a guardrail, signing, striping, and pedestrian features that were damaged in the fire (Exhibit A.2). As allowed in MCC 38.1005, the repair of those items is discussed in Section 6.01. All of the structures proposed to be replaced or repaired are existing in their current location and will be located in the same location as the original. *This criterion is met*.

- (3) The replacement structure shall be the same size and height as the original structure, provided:
 - (a) The footprint of the replacement structure may be up to 10 percent larger than the footprint of the original structure.

(b) The walls of the replacement structure shall be the same height as the walls of the original structure unless a minor increase is required to comply with standards in the current jurisdictional building code.

Staff: The site plan indicates that portions of the structure will be replaced. The tunnel continues to exist in its original location, but portions of the structure within the rock tunnel were destroyed in the fire. The applicant is not proposing to increase the height of the tunnel; instead opting to replace six rock dowels, areas of shotcrete and the entire timber canopy. (Exhibit A.2). The site plans show the location and elevations of the timber canopy, which includes the wood liner, waterproofing membrane, and wood portals (Exhibit A.13). As the plans show, the structure will not be enlarged and will be the same size and height of the original structure. *This criterion is met*.

- (4) The replacement structure shall only be subject to the following scenic resources standards:
 - (a) The replacement structure shall comply with the scenic resources provisions regarding color and reflectivity. These provisions shall be applied to achieve the applicable scenic standard (visually subordinate or not visually evident) to the maximum extent practicable.

Staff: The components of the Oneonta Tunnel were previously reviewed to comply with the scenic resources provisions regarding color and reflectivity. In land use case #T2-05-015, the case found that, "the Historic Columbia River Highway has been listed on the National Register of Historic Places since 1983 and was designated as a National Landmark in 2000. The [structure] ha[s] been reviewed for compliance with the National Register of Historic Places guidelines" (Exhibit B.3)." Due to the structure's listing on the National Register of Historic Places, if this application was subject to the SMA scenic review criteria under MCC 38.7040, the rehabilitation or modification of the structure are exempt from the scenic standards if the modification is in compliance with the National Register of Historic Places guidelines. The applicant has submitted a copy of the Section 106 Finding of Effect, which found that there is "no adverse effect" (Exhibit A.12 and A.14). As proposed, the replacement of the components of the structure is therefore exempt from review under the scenic resources provisions. *This criterion is met*.

(b) Decks, verandas, balconies and other open portions of the original structure shall not be rebuilt as enclosed (walls and roof) portions of the replacement structure.

Staff: The site plan does not show any decks, verandas, balconies or any other open portions of the original structure that will be rebuilt as enclosed (Exhibit A.13). *This criterion is met*.

(c) In the General Management Area, the replacement structure shall comply with the scenic resources provisions regarding landscaping. These provisions shall be applied to achieve the applicable scenic standard (visually subordinate) to the maximum extent practicable, provided:

Staff: The project is located in the right of way along the East Historic Columbia River Highway. The project is located in the Gorge Special Open Space zoning district; therefore, these standards are not applicable. *These criteria are not applicable*.

- (d) In the Special Management Area, the replacement structure shall comply with the scenic resources provisions regarding landscaping. These provisions shall be applied to achieve the applicable scenic standard (visually subordinate or not visually evident) to the maximum extent practicable, provided:
 - 1. The Scenic Resources Implementation Handbook shall be utilized to determine approvable species and minimum approvable sizes of new trees planted (based on average growth rates expected for approvable species).
 - 2. The height of any new trees shall not be required to exceed 5 feet.
 - 3. The time frame for achieving the applicable scenic standard (visually subordinate or not visually evident) shall be 10 years.

Staff: The components of the Oneonta Tunnel were previously reviewed to comply with the scenic resources provisions regarding landscaping. In land use case #T2-05-015, the case found that, "the Historic Columbia River Highway has been listed on the National Register of Historic Places since 1983 and was designated as a National Landmark in 2000. The [structure] ha[s] been reviewed for compliance with the National Register of Historic Places guidelines" (Exhibit B.3)." Due to the structure's listing on the National Register of Historic Places, if this application was subject to the SMA scenic review criteria under MCC 38.7040, the rehabilitation or modification of the structure are exempt from the scenic standards, if the modification is in compliance with the National Register of Historic Places guidelines. The applicant has submitted a copy of the Section 105 Finding of Effect, which found that there is "no adverse effect" (Exhibit A.12 and A.14). As proposed, the replacement of the components of the structure is therefore exempt from review under the scenic resources provisions as the structure is an listed on the National Register of Historic Places and will continue to be listed after the rehabilitation. *This criterion is not applicable*.

(5) The replacement structure shall be subject to (B)(1), (B)(2), and (B)(3) above if it would not comply with (C)(2) and (C)(3) above.

Staff: As discussed above, the applicant's proposal complies with the requirements of (C)(2) and (C)(3); therefore, the proposal does not need to meet the standards within (B)(1), (B)(2), and (B)(3). This criterion is met.

(6) The original structure shall be considered discontinued if a complete land use application for a replacement structure is not submitted within the two year time frame.

Staff: The applicant has submitted a complete land use application for a replacement structure within two years of the date the original structure was destroyed. As discussed above, this application was submitted on August 29, 2019, which is 1 year, 11 months and 25 days after the date the original structure was damaged (Exhibit A.1). As a result, the original structure is not considered discontinued and the application can be reviewed under the provisions of MCC 38.0030(C). *This criterion is met*.

6.00 Allowed Uses Criteria

6.01 § 38.1005 ALLOWED USES

- 6.01.1 (B) The following uses may be allowed without review in all zone districts:
 - (1) Repair, maintenance and operation of existing structures, including, but not limited to, dwellings, agricultural structures, trails, roads, railroads, and utility facilities.

Staff: The applicant is requesting to use the provisions contained within MCC 38.0030(C) to replace portions of an existing structure, Oneonta Tunnel that was damaged and destroyed by disaster. As part of the project, the applicant is proposing to repair portions of the existing structures including:

- Landscaping
- Pavement
- Guardrail
- Signing and Striping

As defined in MCC 38.0015, repair is defined as:

Repair: Replacement or reconstruction of a part of a serviceable structure after damage, decay or wear. A repair returns a structure to its original and previously authorized and undamaged condition. It does not change the original size, scope, configuration or design of a structure, nor does it excavate beyond the depth of the original structure. Up to a 10 percent increase in the original size of a portion of a building to be repaired is allowed if required to comply with building codes, provided it does not require additional excavation.

Repair includes, but is not limited to, reproofing a building, replacing damaged guardrails, reconstructing a rotten deck or porch, replacing a broken window or door, replacing a utility pole and associated anchors, replacing a section of broken water or sewer line, replacing a damaged or defective utility line, reconstructing a portion of a building damaged by fire or a natural event, and replacing railroad ties or rails.

Based on the above definition, the applicant is proposing to repair the landscaping will include the resetting of the barrier logs on the southwest side of the tunnel. Repair of the pavement will include a grind and inlay of new pavement to return the pavement back into its original and previous authorized and undamaged condition. The applicant is also proposing to repair and replace a damaged guardrail. As an allowed use, these repairs are allowed without review in all zone districts. *This criterion is met*.

7.00 Conclusion

Based on the findings and other information provided above, the applicant has carried the burden necessary for the National Scenic Area (NSA) Site Review to repair and replace portions of the Oneonta Tunnel structure in the Gorge Special Open Space zone. This approval is subject to the conditions of approval established in this report.

8.00 Exhibits

- 'A' Applicant's Exhibits
- 'B' Staff Exhibits
- 'C' Procedural Exhibits
- 'D' Comments Received

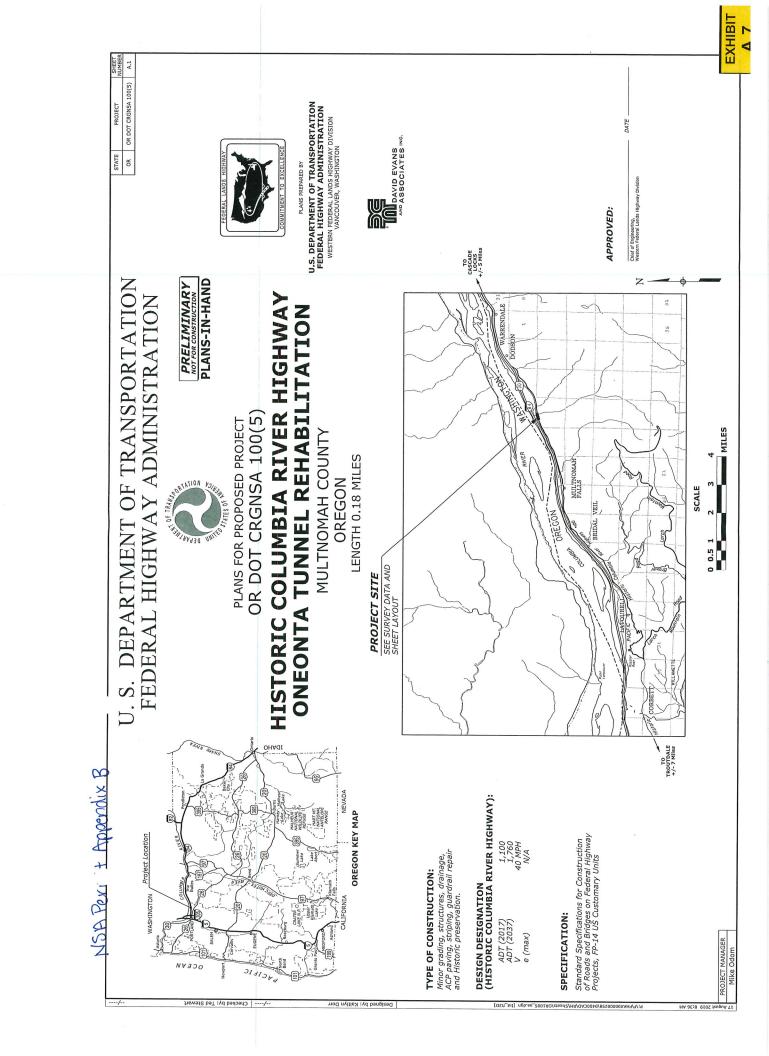
Exhibits with a "* "after the exhibit # have been included and reduced to 8.5" x 11" as part of the mailed decision. All other exhibits are available for review in Case File T2-2019-12409 at the Land Use Planning office.

Exhibit #	# of Pages	Description of Exhibit	Date Received / Submitted
A.1	1	NSA Application Form	08/29/2019
A.2	24	Oneonta Tunnel Restoration Project 08/29/20	
A.3	11	Easement Deed and Agreement recorded as Instrument # 08/29/2019	
A.4	3	Railroad Encroachment Drawing (Reduced to 8.5" x 11")	08/29/2019
A.5	3	Railroad Encroachment Drawing (Reduced to 11" x 17")	08/29/2019
A.6	1	Oneonta Tunnel Rehabilitation Site Plan: A.P.I. Exhibit	08/29/2019
A.7*	47	Historic Columbia River Highway Oneonta Tunnel Rehabilitation Site Plans (reduced to 11" x 17") - *A.1: Title Sheet - *A.2: Index to Sheets - A.3: Plan Symbols and Abbreviations - A.4: Survey Data and Sheet Layout - C.1: Tabulation of Typical Section Quantities - C.2: Typical Sections - C.4: Typical Sections - C.4: Typical Sections - D.1: Tabulation of General Construction Quantities - D.2: General Construction - D.3: General Construction - D.4: General Construction - D.5: Pedestrian Railing, Wood Details - D.6: Bollard Post Details - E.1: Tabulation of Erosion Control Quantities - *E.2: Soil Erosion and Sediment Control Plans - *E.3: Erosion Control Plans - *E.4: Erosion Control Plans - *E.5: Erosion Control Standard Drawings: Check Dam - E.6: Erosion Control Standard Drawings: Fiber Roll - F.1: Tabulation of Tunnel Plan Quantities - *F.2: Tunnel Plan (72533) - *F.3: Tunnel Sections (72534) - *F.4: Timber Canopy Details (72535) - F.5: Steel Set Sections and Details (75302) - F.6: Steel Set Cross Sections (75303) - *F.7: West Portal Framing Details (72536)	08/29/2019

F	1		1
		- *F.8: East Portal Framing Details (75304)	
		- F.9: Portal Framing Details and Repair Notes (75305)	
		- F.10: Historic Portal Photos	
		- F.11: Rock Dowel Details	
		- F.12: Rock Dowel Plan Sheet	
		- G.1: Tabulation of Temporary Traffic Control Quantities	
		- G.2: Temporary Traffic Control Details	
		- G.3: Temporary Traffic Control Plans	
		- G.4: Temporary Traffic Control Plans	
		- G.5: Temporary Traffic Control Standard Drawings: Single	
		Lane Closure Layout with Flaggers	
		- G.6: Temporary Traffic Control Standard Drawings: Single	
		Lane Closure Layout with Temporary Barrier	
		- G.7: Temporary Traffic Control Standard Drawings: Sign	
		Installation Wood Posts	
		- *H.1: Tabulation of Landscaping Quantities & Sheet Key	
		Map	
		- *H.2: Landscaping Plan	
		- *H.3: Landscaping Plan	
		- *H.4: Landscaping Plan	
		- *H.5: Landscaping Plan	
		- H.6: Landscaping Construction Details	
		- I.1: Optional Contractor Staging Vicinity Map	
		- I.2: Optional Contractor Staging Site	
A.8	1	Oneonta Tunnel Rehabilitation Site Plan: A.P.I., Habitat, and Buffer Exhibit	08/29/2019
4.0	10	Biological Resources Impact and Mitigation Memo from Ben	00/00/0010
A.9	12	White, ODOT Region 1 Biologist	08/29/2019
	20	Oneonta Gorge Parking / Vista Project Cultural Resource	00/40/2010
A.10	22	Survey and Literature Review: Report No. 1376	09/12/2019
	<u> </u>	Oregon Inventory of Historic Properties – Section 106 Level	
A.11	29	of Effect	09/30/2019
		Request for Concurrence (Historic) Joint Finding of No	
A.12	5	Adverse Effect Oneonta Tunnel Rehabilitation Project	09/30/2019
		Multnomah County, Oregon ODOT Key No. M19026 FHWA	
		No. DOT CRGNSA 100(5)	
		Historic Columbia River Highway Oneonta Tunnel	
		Rehabilitation Site Plans (34" x 22")	
		- F.1: Tabulation of Tunnel Plan Quantities	
		- F.2: Tunnel Plan (72533)	
		- F.3: Tunnel Sections (72534)	
		- F.4: Timber Canopy Details (72535)	
A.13		- F.5: Steel Set Sections and Details (75302)	10/14/2019
		- F.6: Steel Set Cross Sections (75303)	
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A.14	3	Adverse Effect Oneonta Tunnel Rehabilitation Project	10/14/2019
		Multnomah County, Oregon ODOT Key No. M19026 FHWA	
		No. DOT CRGNSA 100(5)	***************************************
'B'	#	Staff Exhibits	Date
B.1	2	Department of Assessment, Records, and Taxation (DART) Property Information for 1N6E09 -00100 (#946090010)	08/29/2019
		Department of Assessment, Records, and Taxation (DART)	
B.2	1	Property Information Map with 1N6E09 -00100	08/29/2019
		(#946090010) highlighted	
B.3		Land use case #T2-05-015	01/03/2020
'C'	#	Administration & Procedures	Date
C.1	2 -	Request for Wavier of Pre-filing / Pre-application Meeting	08/29/2019
C.2	4	Agency Review and OR SHPO Submittal Form	09/04/2019
C.3	2	Incomplete Letter	09/25/2019
C.4	1	Applicant's Acceptance of 180 Day Clock	10/01/2019
C.5	1	Complete Letter (Day 1)	10/25/2019
C.6	17	Opportunity to Comment	12/20/2019
C.7	15	Administrative Decision	

'D'	#	Comments Received	Date
D.1	1	E-mail from Christian Nauer, Archaeologist, Confederated Tribes of the Warm Springs Reservation of Oregon	09/16/2019
D.2	3	Columbia River Gorge National Scenic Area — Cultural Resources Survey Determination submitted by Chris Donnermeyer, Heritage Resources Program Manager, Columbia River Gorge National Scenic Area	09/17/2019
D.3	1	E-mail from Shane P. James, Archaeologist, Heritage Division, Oregon Parks and Recreation Department	10/02/2019
D.4	8	E-mail and Letter from Steven D. McCoy, Staff Attorney, Friends of the Columbia Gorge	01/03/2020



STATE PROJECT SHEET
OR OR DOT CRGNSA 100(5) A.2

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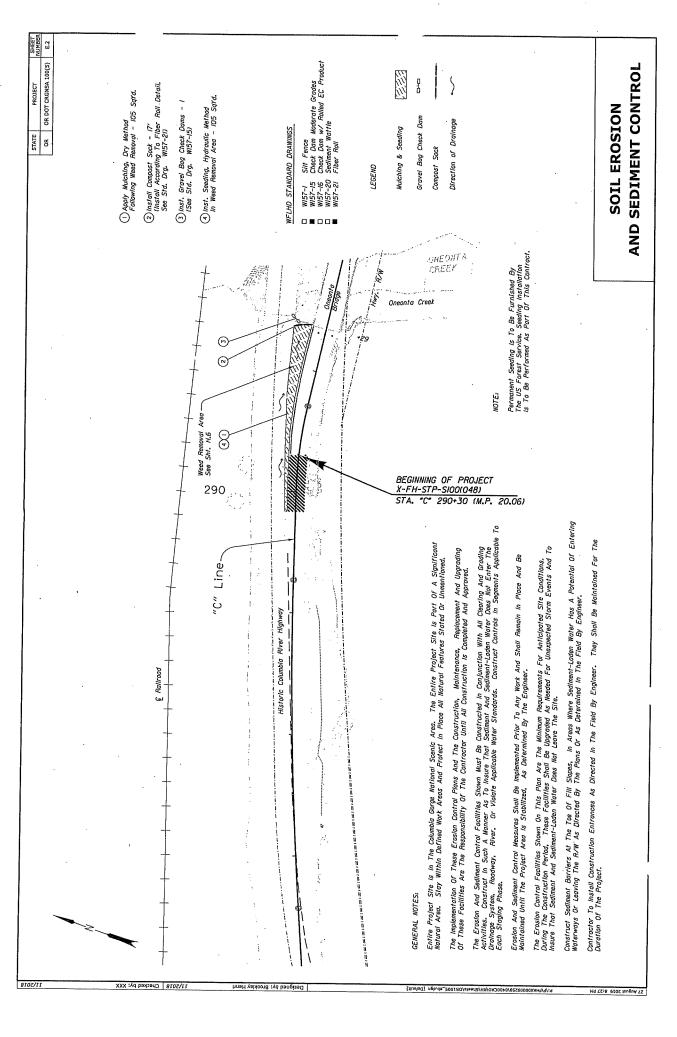
- I. CONTRACTOR STAGING
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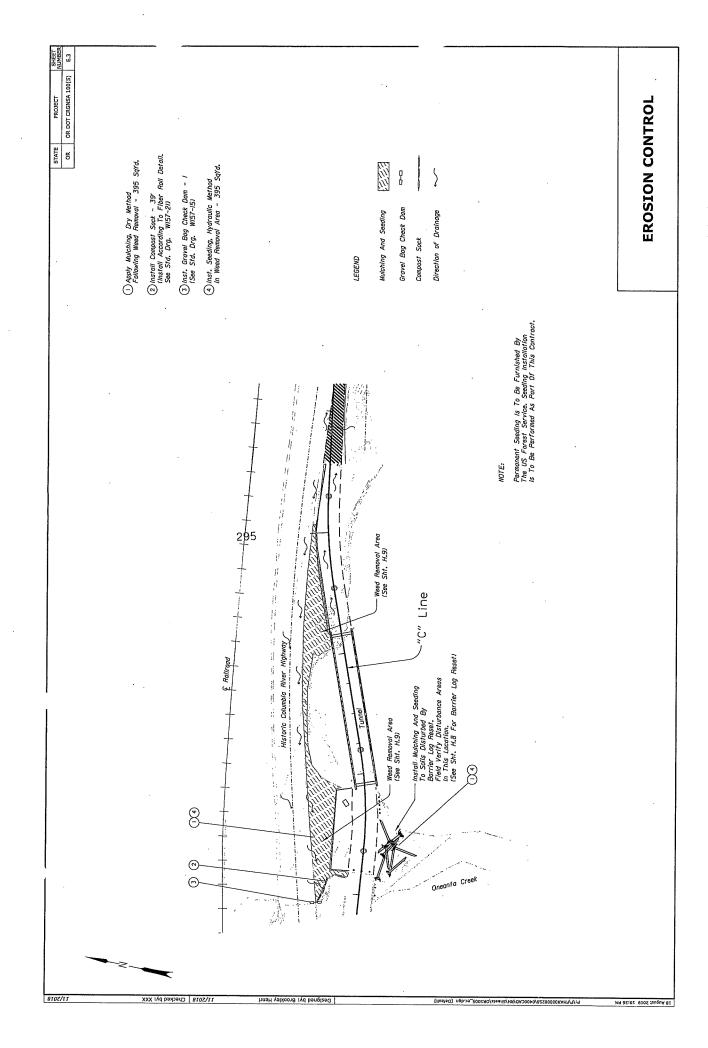
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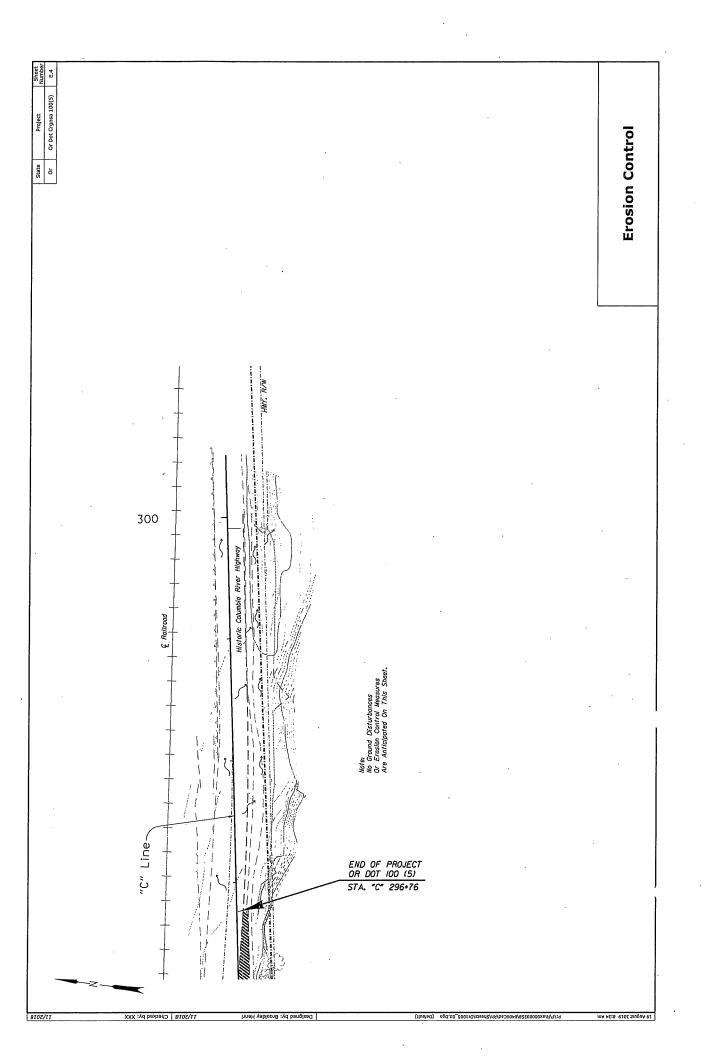
8102/11

11/2018 Checked by: Ted Stewart

Designed by: Kalthn Dorr







Repair Shotcrate lining Fapair Shotcrate drain pipe doylight each east partal east of Remove and replace perforated drain pipe behind steel sets are clear of debries. 3	See Sni. F.6 Se
SETEMBLE MULES CONTINUED: 7. The dimensions given on these plans for repairs of the existing structures and associated components are approximate and are given for estimating purposes only. Detail was taken to seed on Contractor's field measurements. 8. The Contractor shall thoroughly familiarize himself with these plans and existing structures, including verification of all partinent dimensions before proceeding with the repair work. Discrepancies shall be reported to the Engineer. 9. Repoir areas shown on these plans are approximate actual repair areas for property of the owner and is domain material. 10. Existing construction that is to remain in place, be reused, or remain the property of the owner and is domained by the Contractors and approved by the Engineer with the Specifications or as directed by the Engineer, at no additional cost to the owner.	Shotrete Lining Shotrete Lining Shotrete Lining Shotrete Lining For 71 For 71 For 71 Shotrete Lining
NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION SENETAL MULES: 1. Provide all insterious and perform all work according to the Federal Highway Administration Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects, FP-14, US Custamary Units. 2. Wood Framing is designed by Allowable Strength Design in accordance with AASHTO Standard Specifications for Highway Bridges. 3. Provide all structural steel angle, plate and bar conforming to ASTM A36. 4. Provide shalterete as described in the Special Provisions with a 28 day compressive stregth of 4,500 FSI. 5. Existing face of rack location is based on the best present knowledge but without guarantee of accouracy where actual conditions conflict with advantage the shall be reported to the Enginer. 6. Dimensions of existing structures were taken from original plans, and are subject to field verification by the Contractor.	Oneonta Gorge Creek Bridge (Bridge No. 04542)

